



**Station Precinct, Rhodes
Master Planning Proposal**

3-9 Marquet Street, 4 Mary Street.

January 2014

PROJECT
STATION PRECINCT, RHODES

CLIENT
MARQUE PROPERTY P/L

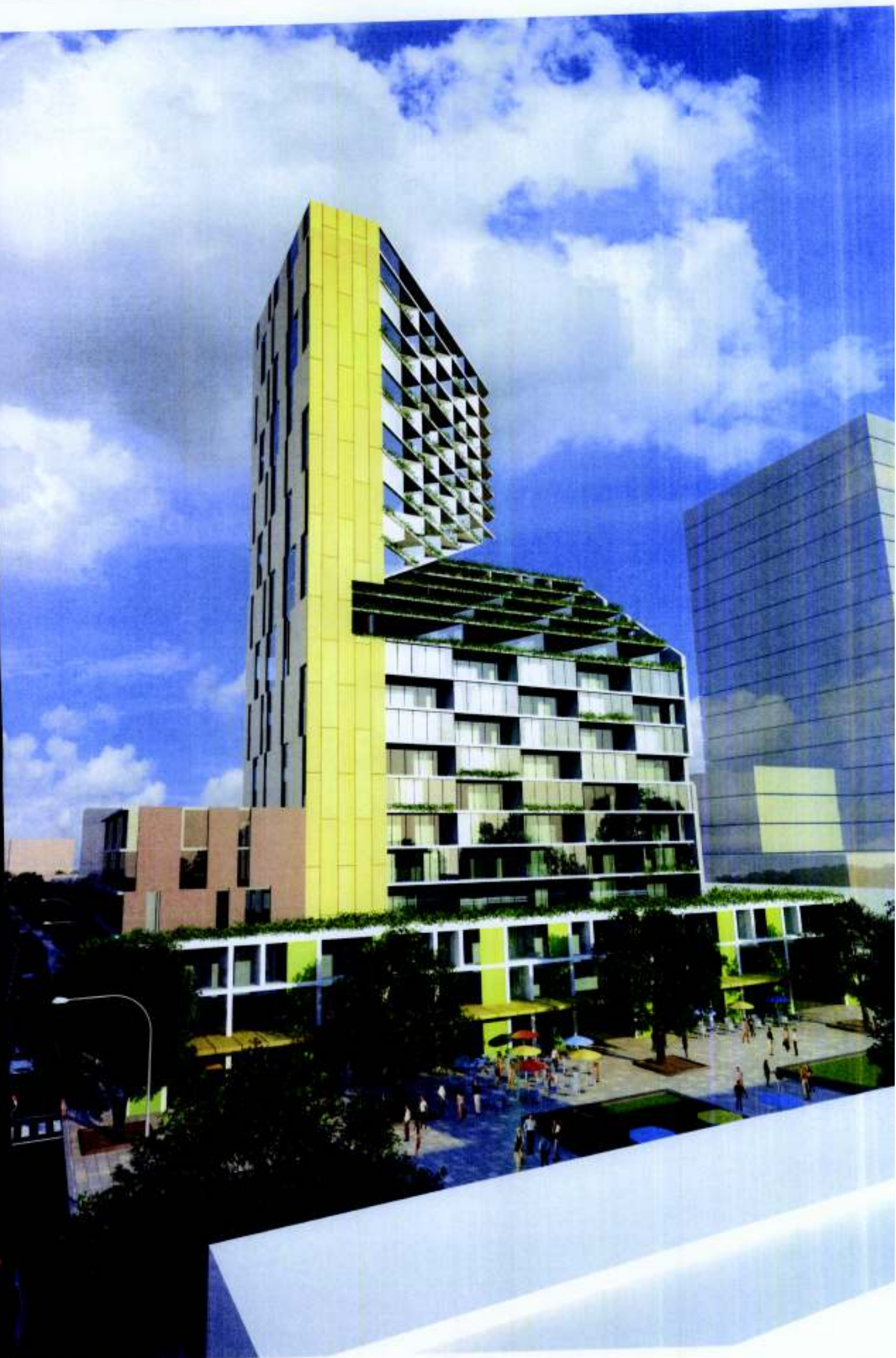
ADDRESS
4 Mary Street,
RHODES



DATE
JAN 2014

COMPTON PETERS

ARCHITECT
IN RHODES



Design Statement

3-9 Marquet Street, 4 Mary Street Rhodes

This design statement forms part of the submission for the property at 3-9 Marquet Street, 4 Mary Street Rhodes by Tony Owen Partners and on behalf of the land owners. This property forms part of the Rhodes Station precinct. This precinct has been master planned for Canada Bay Council and adjoining property holders.

The Master Plan

The master plan for Rhodes - Station Precinct that has been prepared by Conybeare Morrison. This master plan, along with consultation with council, establishes the general principles and envelopes for the area including maximum heights, setbacks, yields and building envelopes. The purpose of this design is to illustrate that a high quality design can be achieved which complies with the requirements of the master plan and which fits well into the context of the surrounding buildings in the master plan. In consultation with council, various controls have evolved for the site. The maximum height for the site is 30 storeys. The maximum FSR for the site is 6.5. The definition of this floor space is set out in the new standard controls being adopted by council. The proposed design is compliant with all of these controls.

In addition the master plan establishes certain setbacks and configurations for the site, which this design complies with. According to the master plan, the proposed design has the following features:

- The building generally sits on a 3 storey podium.
- As per the master plan a retail laneway is provided on the easterly portion of the site with retail uses provided on both sides of the laneway.
- In discussion with Conybeare Morrison it was determined that the western side should be a 3 storey massing with 2 levels of retail and the eastern side be minimum 2 storeys with 2 storey retail.
- The tower maintains a 3m setback from Marquet Street for the majority of the tower.
- The lower 4 levels up to 14m have a zero setback to Marquet Street to reinforce the street edge and maintain the relationship with the buildings to the north.
- A predominant 3m setback is required to the north for the tower, however a 6m setback has been provided to ensure compliance with Sepp 65.
- There is a zero setback to the southern boundary as per the master plan.
- The typical building lower footprint has a Gross building area of 850m².
- The building should be designed such that it does not prevent the site on the corner of Mary Street and Marquet Street being developed up to 5.5.1.
- The building massing must be such no portion of the public plaza to the south east of the site is shaded between 9am and 2pm.

The proposal has been designed to achieve all of the above criteria.

Overshadowing

The master plan states that the building massing must be such no portion of the public plaza to the south east of the site is shaded between 9am and 2pm. We conducted a series of solar studies to create a volume that maintains solar performance to the square. The design envelope that resulted formed the basis of the built form. This consists of a rectangular tower up to L13. This rectangle is then angled back to maintain sun. A slender portion of the tower which does not create shadow continues up to L29. Within this envelope the design was shaped to maximize opportunities for views and solar amenity. This results in a dynamic and well-proportioned tower envelope.

Building Design

The building is located near the corner of Marquet and Mary Streets. The building sits on a 3 storey expression however the general street wall to Marquet Street is 14m. The main lobby addresses face Marquet Street as does the loading dock. The building entry which is located away from the corner. The first 2 levels on Marquet Street contain town houses to reinforce the streetscape. The first 2 levels on the laneway will contain retail uses as does the massing on the opposite side of the laneway to create a pedestrian retail street linking through towards the Plaza. The station and the rest of the precinct. The 3 storey western retail wing has a gym and terrace on the upper floor. The roof of the podium contains communal outdoor green space.

The market laneway is 1 level above Marquet Street. As a result part of the ground floor contains parking and double height loading which is located below the market laneway. This is accessed directly from Marquet Street with internal ramps down to lower parking basements. The exact number of basements has not yet been determined. The podium design shows that an active streetscape can be achieved which reinforces the circulation zones and achieves the objectives of the master plan for a vibrant and active community environment.

This proposal does not include the small corner site on Mary and Marquet Street, who have declined to be involved. Notwithstanding, the benchmark design indicates that this site can be developed separately or combined with the site. A 6 storey development has been shown which would feature retail uses or town houses on the lower 2 floors addressing the street. The tower design indicates a blank wall to the southern facade for the lowest 6 floors so as not to inhibit development of this site.

The tower itself has been generated as described above. The resultant floor plates demonstrate a high degree of amenity with a majority of corner units with deep balconies. The tower shape ensures expansive views of Homebush Bay, the city and other vistas to the north, south, west and north east. There is a transition zone from levels 14-18 as the tower slopes back. These levels contain 2 storey 1 bed loft units which provide affordable and unique product with large outdoor space and natural ventilation.

A number of units in the lower portion of the tower have winter gardens to reduce acoustic impacts from the station and the retail laneway. This results in a further articulation of the facade.

The master plan requires a component of public art in the design. This aspect will be developed further as the design is developed, however, the Council agree that the unique form and expression of the design is a part of its contribution to public art.

Sepp 65 Performance and amenity

The purpose of this design is to demonstrate that a quality development can be achieved to meet the design requirements of the envelope. Our analysis shows that the benchmark design meets the standards of Sepp 65 in the key areas we tested as follows:

- **Solar Amenity**
- Criteria - 70% of units must achieve 3 hours of sunlight to living rooms on June 20
- Performance - the combined performance of the lower and upper portions of the tower achieves a ratio of 79%

Natural Ventilation

- Criteria - 50% of units must be naturally ventilated
- Performance - the combined performance of the lower and upper portions of the tower achieves a ratio of 69%. This is achieved with corner units and a number of 2 storey loft units

Units off a common Corridor

- Criteria - a maximum of 8 units should be served from a common corridor
- Performance - a maximum of 5 units are served from a common corridor

Building depth

- Criteria - a maximum internal building depth of 18m
- Performance - the master plan proposes a maximum footprint of 22m including balconies and winter gardens. The proposed design meets this criteria.

Other criteria

We have not sought to resolve every issue of Sepp 65 as it is sufficient to demonstrate that if the major issues are addressed, then the other issues can be achieved as the design is developed.

Aesthetics

The benchmark design demonstrates that the building envelope can result in a design of high quality and architectural expression. The attached rendering and massing studies shows that the resultant form creates an exciting and well-articulated built form which presents a varied expression to each facade. The east and west facades are designed to maximize views and solar amenity; this results in a horizontal expression. The northern facade has a more vertical expression as does the southern facade which has a higher portion of solid wall as less sunlight is available.

The result is a dynamic and attractive tower that meets the performance criteria of the master plan and demonstrates that a high quality and efficient design solution can be achieved.

Yours sincerely

Tony Owen
Principal
Reg No. 7080
Tony Owen Partners



Site Plan



PROJECT
STATION PRECINCT, RHODES

CLIENT
MARQUE PROPERTY P/L

ADDRESS
4 Mary Street,
RHODES



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EDWIN OWEN ARCHITECTS
ARCHITECTS
PLANNERS

PROJECT
STATION PRECINCT, RHODES

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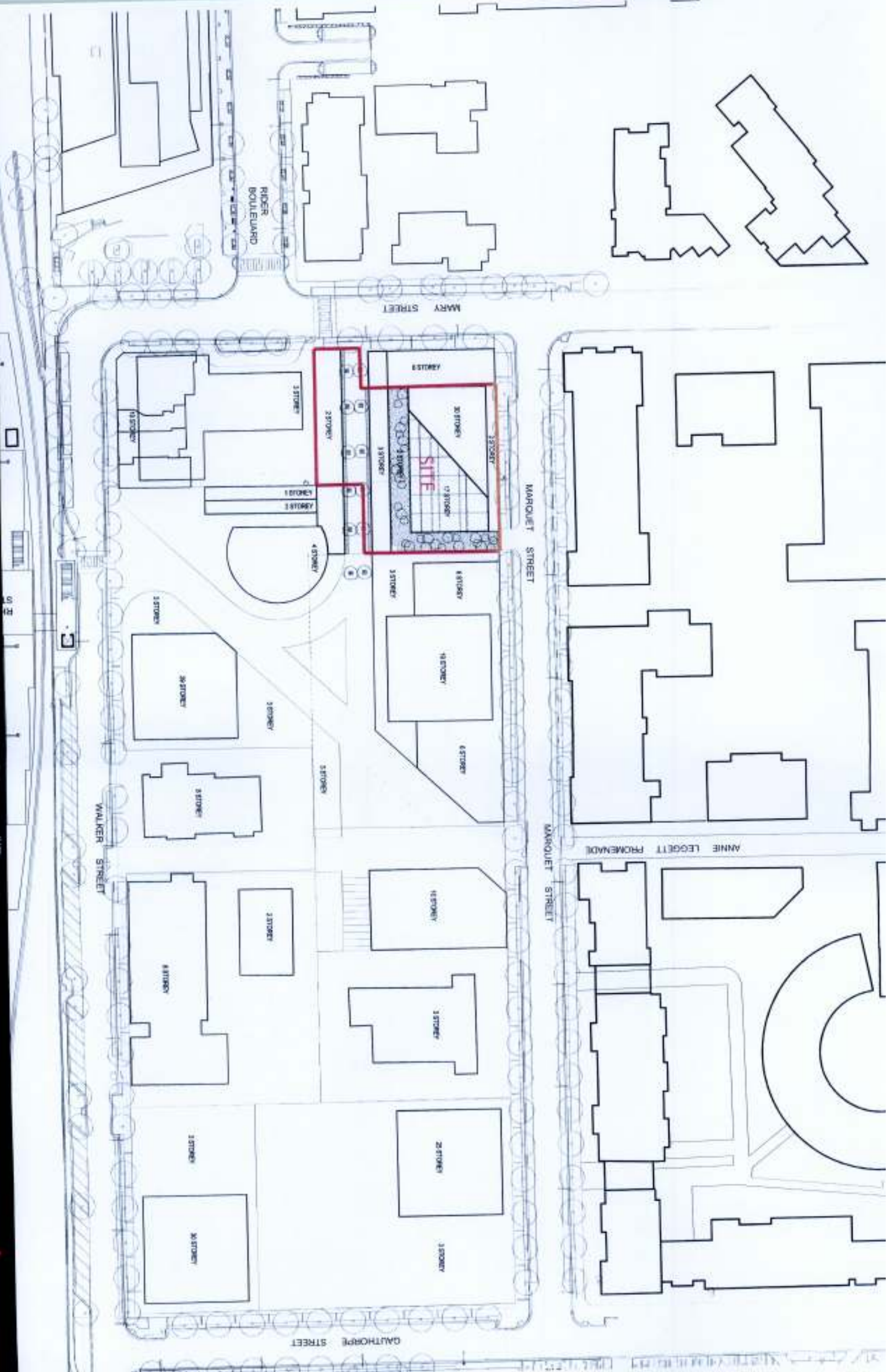
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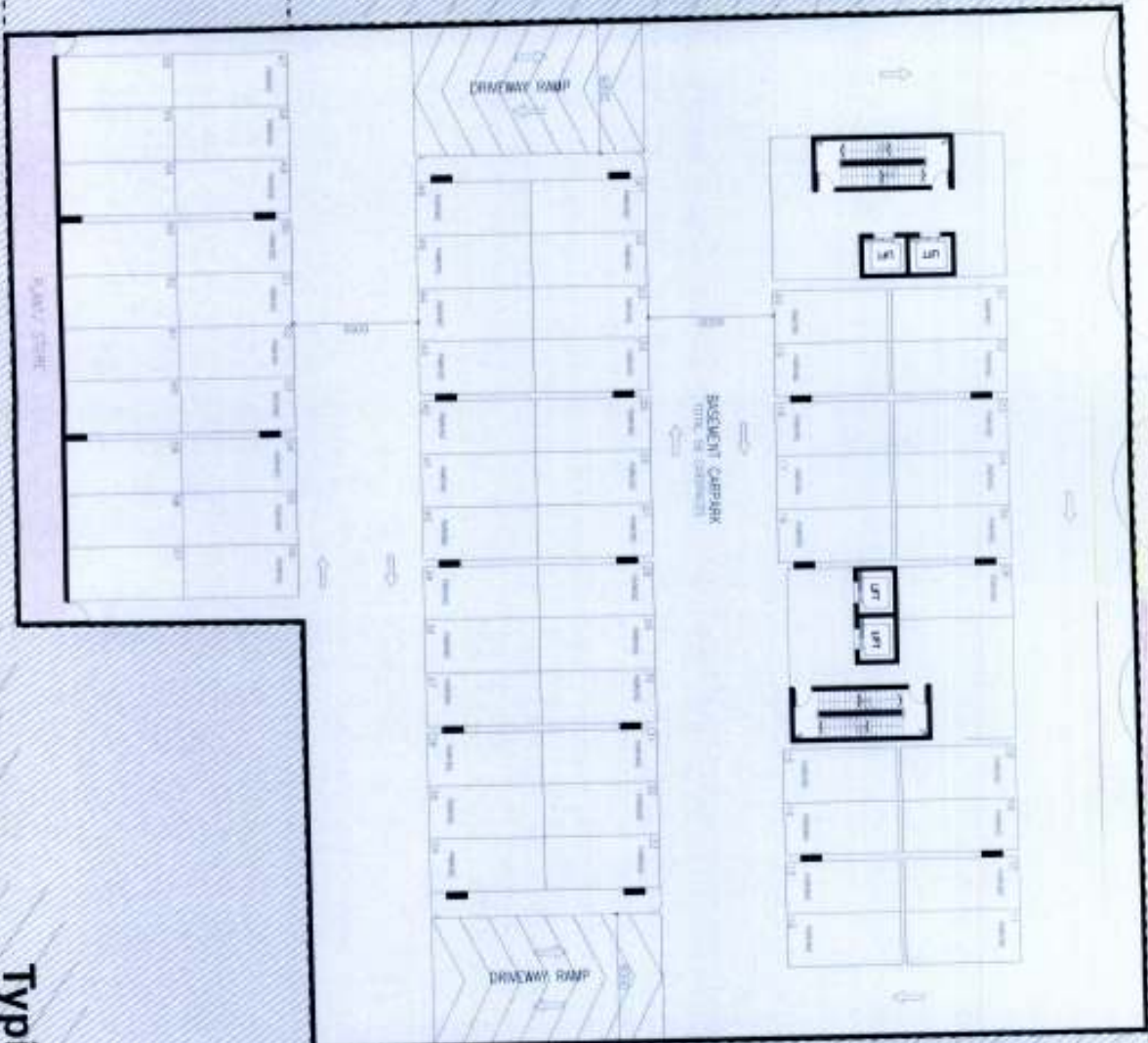
COMPTON PLOTS

ARCHITECT
MILAN
PARKER





MARY STREET



Typical Basement

Scale 1:250 @ A3

MARY STREET

RETAIL/ TOWNHOUSES
6 STOREY

DRIVEWAY RAMP

GROUND LEVEL CARPARK
(AREA OF CARPARK)

DRIVEWAY RAMP

VEHICULAR ENTRY/ EXIT

PLANT / STORE

REY
REY

Ground Floor
4 STOREY
Scale 1:250 @ A3

3 STOREY

6 STOREY

PROJECT
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COMYQUAN PTMS

MARY STREET

RETAIL/ TOWNHOUSES
6 STOREY

3 STOREY

6 STOREY

Level 1 Plan
4 STOREY

PRODUCT
STATION PRECINCT, RHODES

CLIENT
MARQUE PROPERTY P/L

4 Mary Street,
RHODES

JAN 2014

CONYOUNG ETERS

MARY STREET

RESIDENTIAL
6 STOREY

6 STOREY

3 STOREY

Level 2 Plan
4 STOREY
Scale 1:250 @ A3



MARY STREET

RESIDENTIAL
6 STOREY

3 STOREY

6 STOREY

Level 3 Plan
4 STOREY
Scale 1:250 @ A3

PROJECT
STATION PRECINCT, RHODES

CLIENT
MARQUE PROPERTY P/L

LOCATIONS
4 Mary Street,
RHODES



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CONYOUNG PLANNING

ARCHITECTS

MARY STREET

6 STOREY

22 m

18 m

42 m

3 m

6 m

6 STOREY

3 STOREY

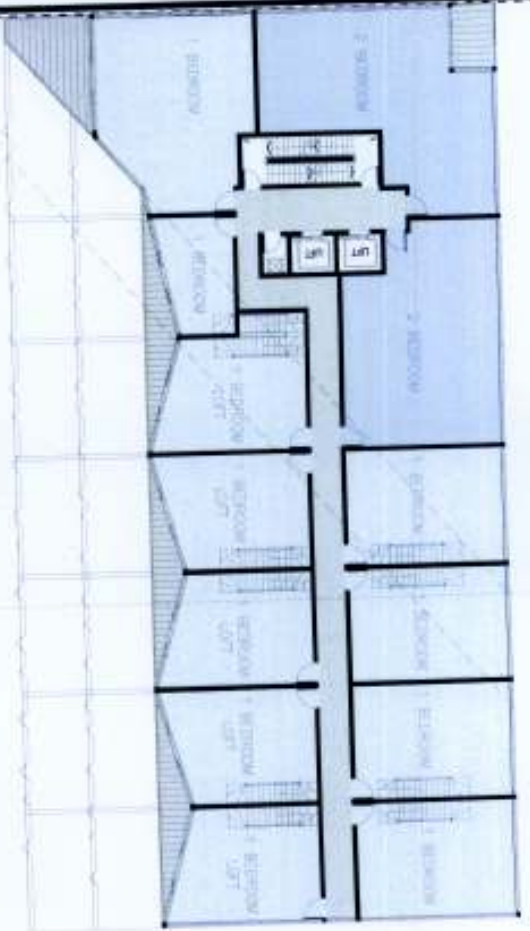


REY
REY

Typical Low Rise
Level 4-13
4 STOREY
Scale 1:250 @ A3

MARY STREET

6 STOREY



6 STOREY

3 STOREY

REY
REY

Level 14 Plan
4 STOREY
Scale 1:250 @ A3

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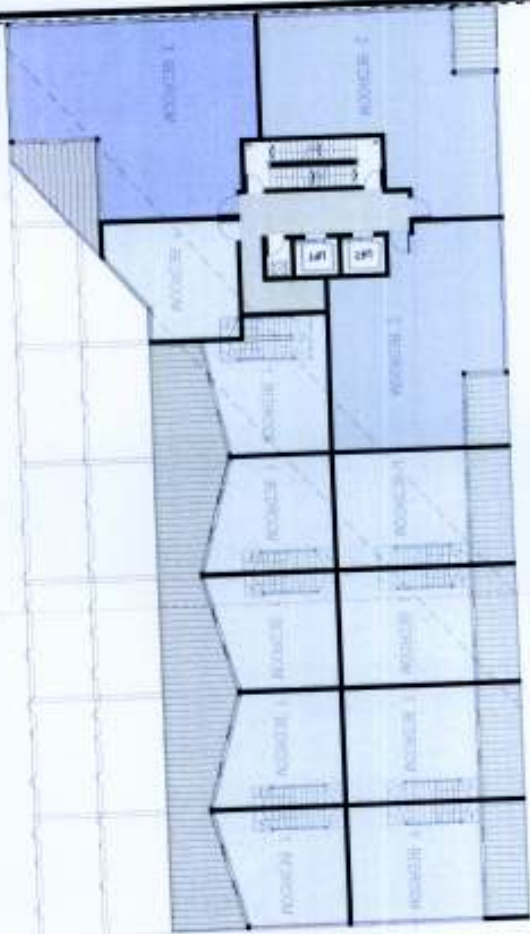


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ARCHITECT
CORNWALL & PARTNERS
ARCHITECTS

MARY STREET

6 STOREY



3 STOREY

6 STOREY

REY
REY

Level 15 Plan
4 STOREY
Scale 1:250 @ A3



MARY STREET

6 STOREY

REY
REY

Level 16 Plan
4 STOREY
Scale 1:250 @ A3

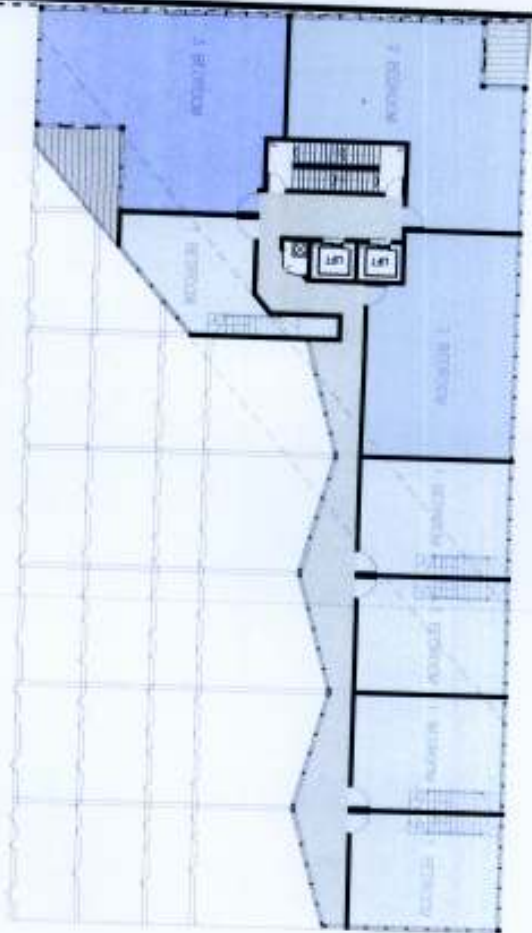
3 STOREY

6 STOREY

MARQUET STREET

MARY STREET

6 STOREY



6 STOREY

3 STOREY

REY
REY

Level 17 Plan

4 STOREY

Scale 1:250 @ A3

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STATION PRECINCT, RHODES

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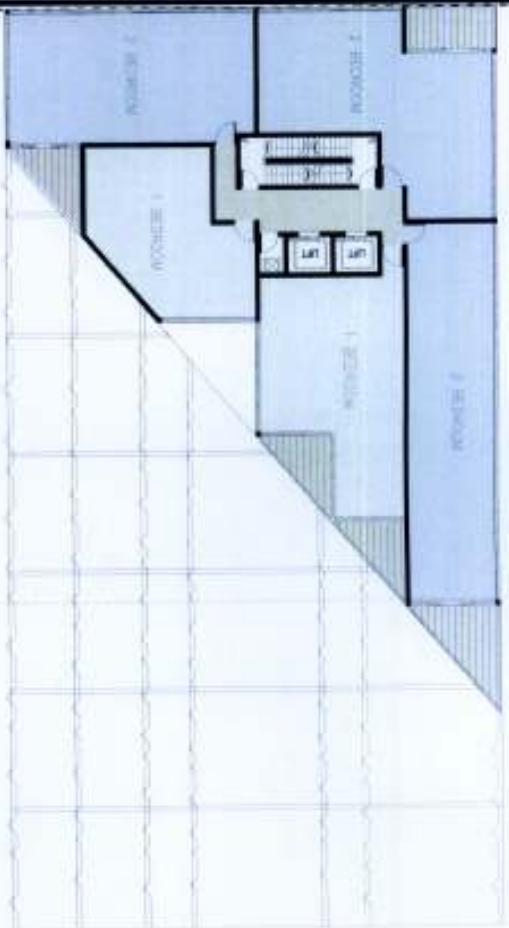


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EDMUNDSON PCTRS
ARCHITECTS
REGISTERED
PLANNERS

MARY STREET

6 STOREY



3 STOREY

6 STOREY

REY
REY

Typical High Rise
Level 18.25
4 STOREY
Scale 1:250 @ A3

PROJECT
STATION PRECINCT, RHODES

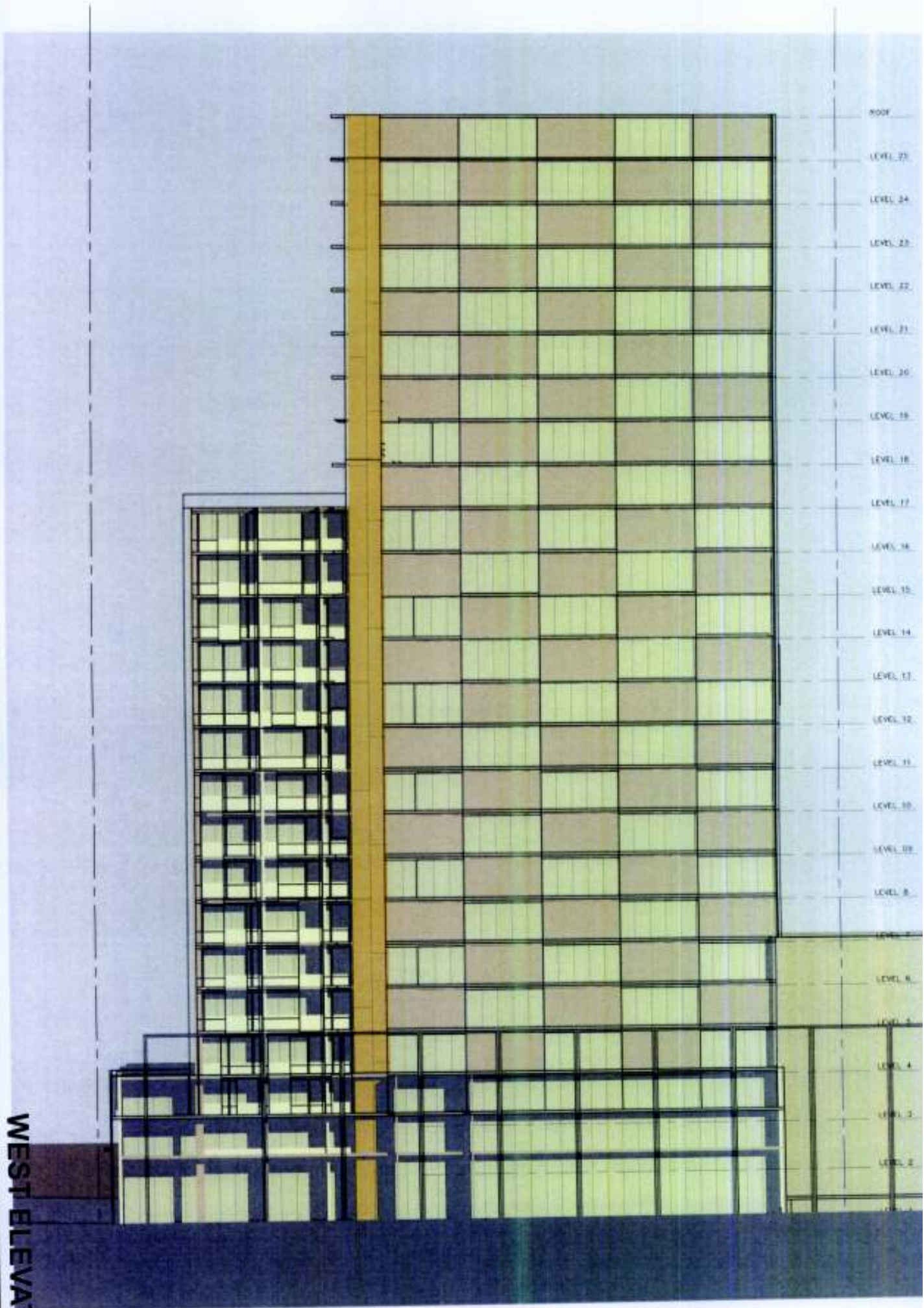
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CONYOUNG PTMS
ARCHITECTURAL
DRAWING



WEST ELEVATION

PROJECT
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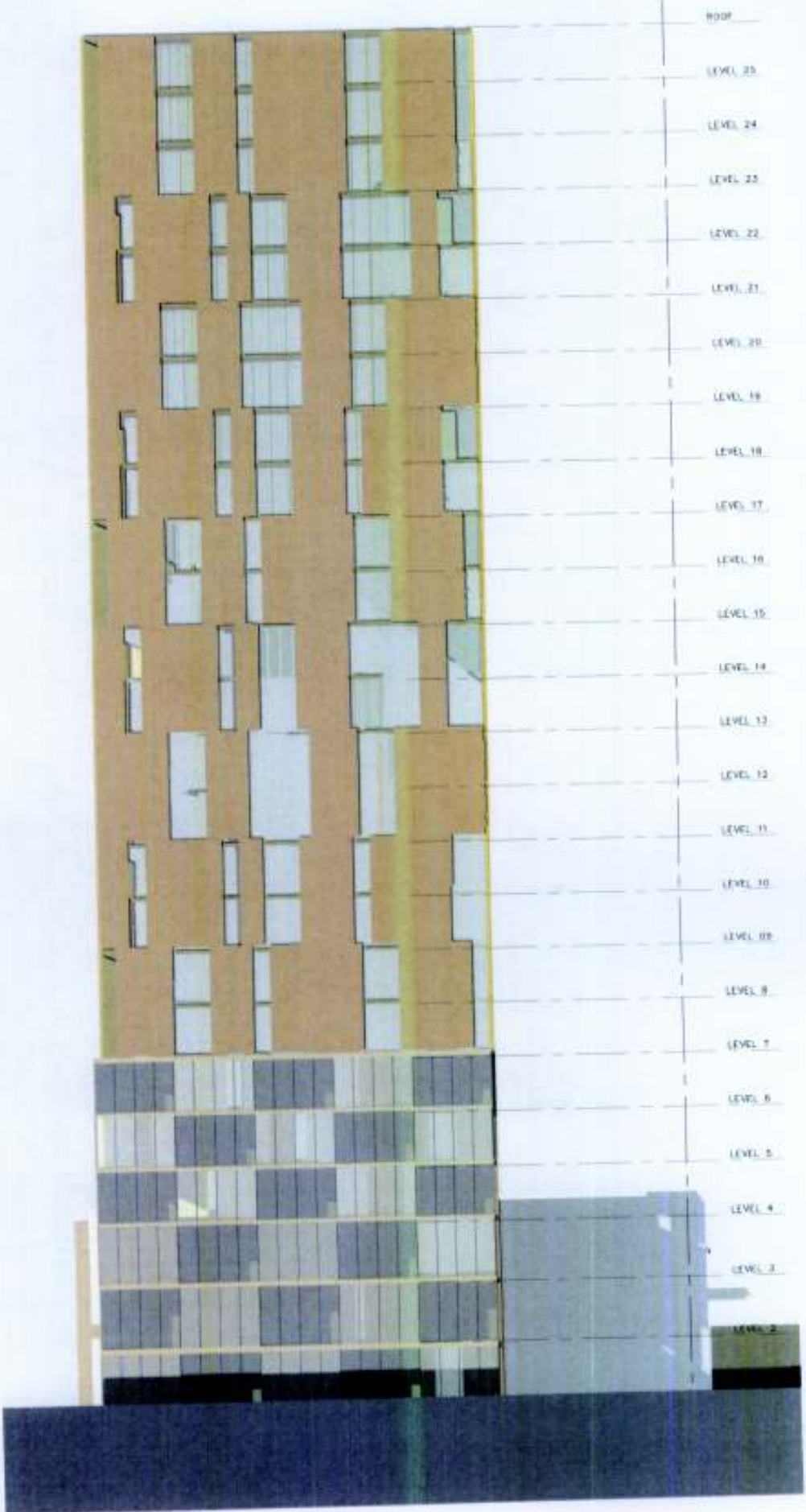
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FORNYOWEN **PTNRS**
ARCHITECTS
PROFESSIONAL
MEMBERS

SOUTH ELEVATION



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CONYOUNG PARTNERS
ARCHITECTS

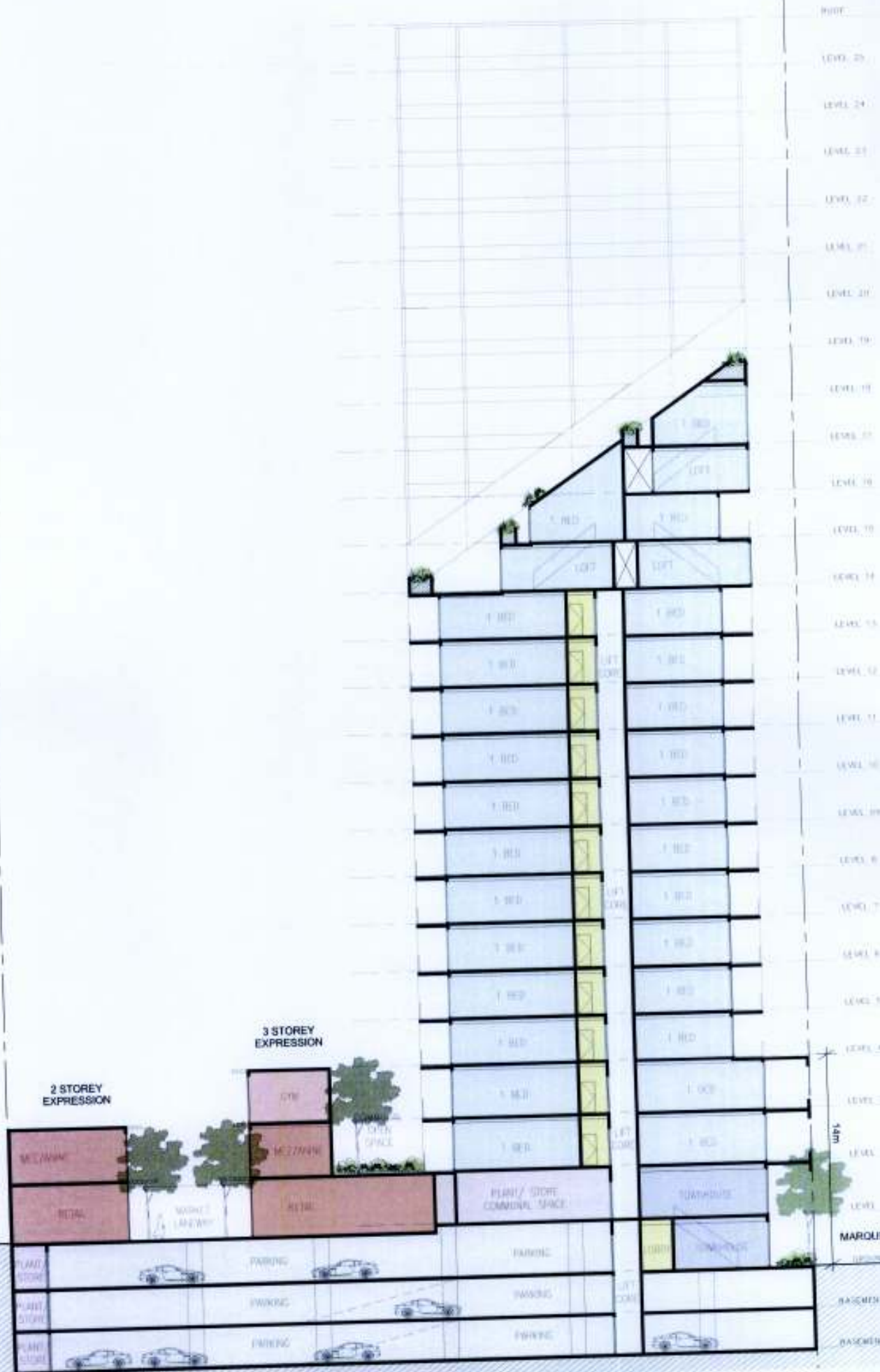


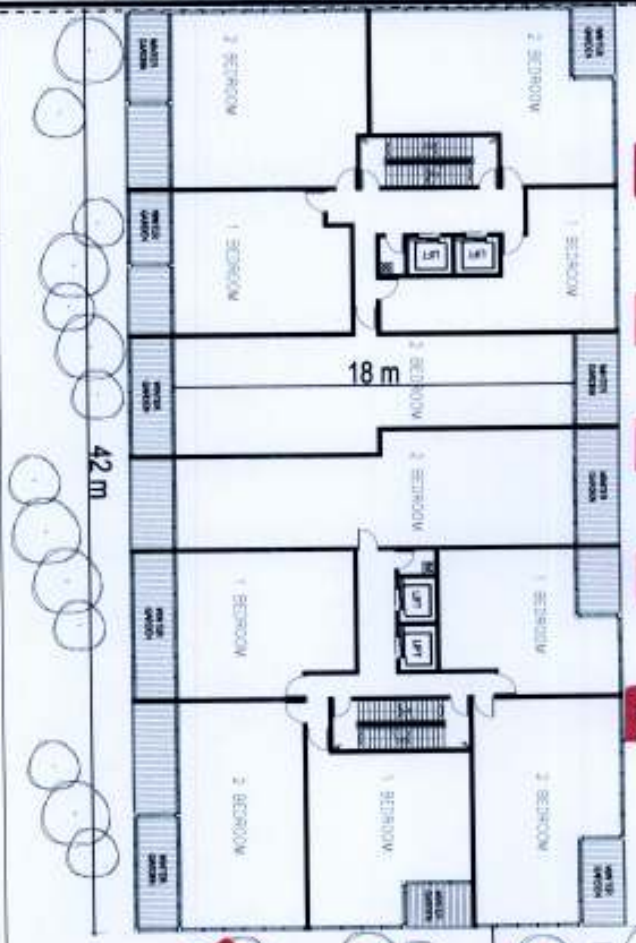
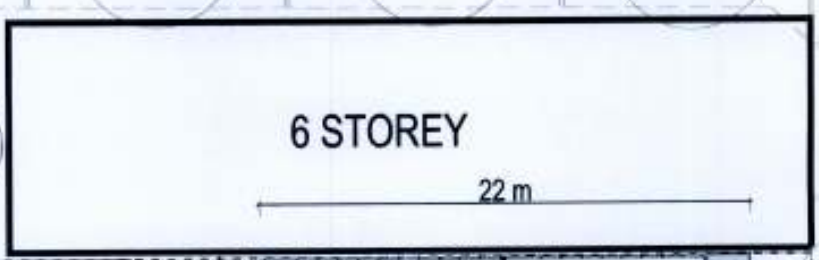
SITE BOUNDARY

SITE BOUNDARY

Scale 1:250 @ A3

Section



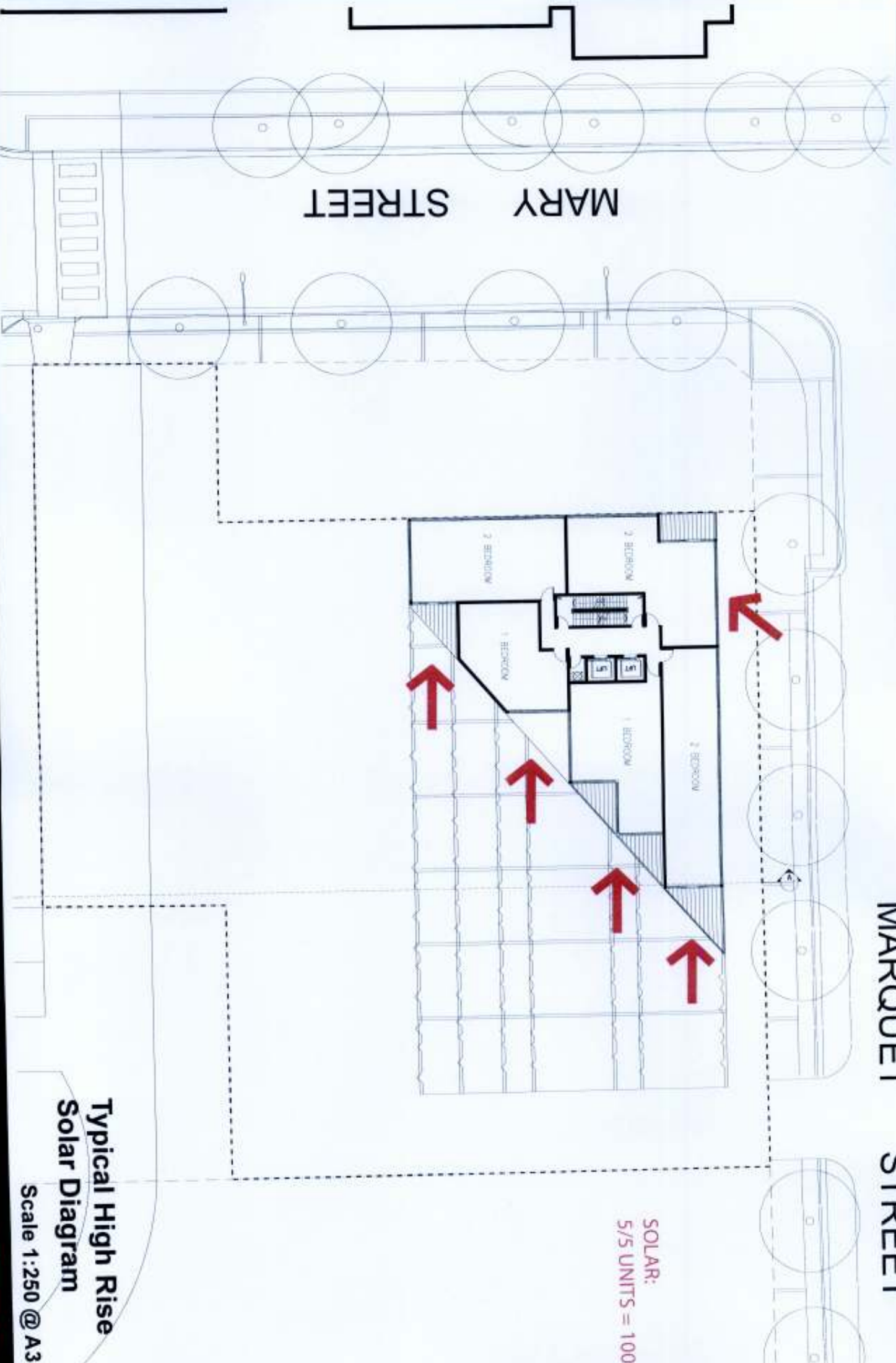


SOLAR:
8/11 UNITS = 72%
6 STOREY

TOTAL
SOLAR = 79%
VENTILATION = 66

3 STOREY

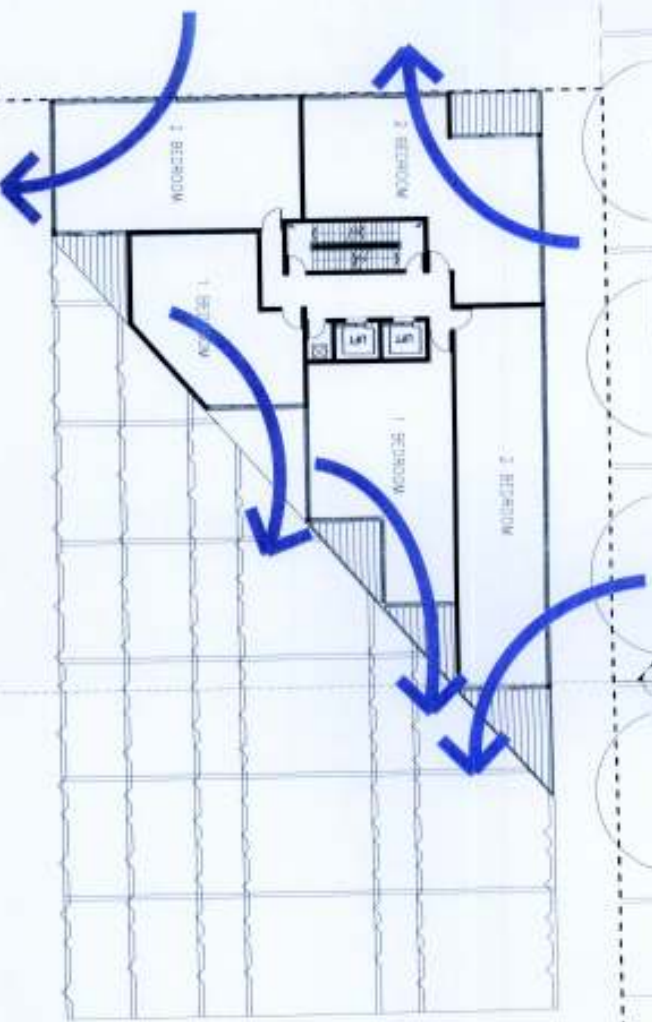
Typical Low Rise
Solar Diagram
4 STOREY
Scale 1:250 @ A3



SOLAR:
5/5 UNITS = 100%

Typical High Rise
Solar Diagram

Scale 1:250 @ A3



VENTILATION:
5/5 UNITS = 100%

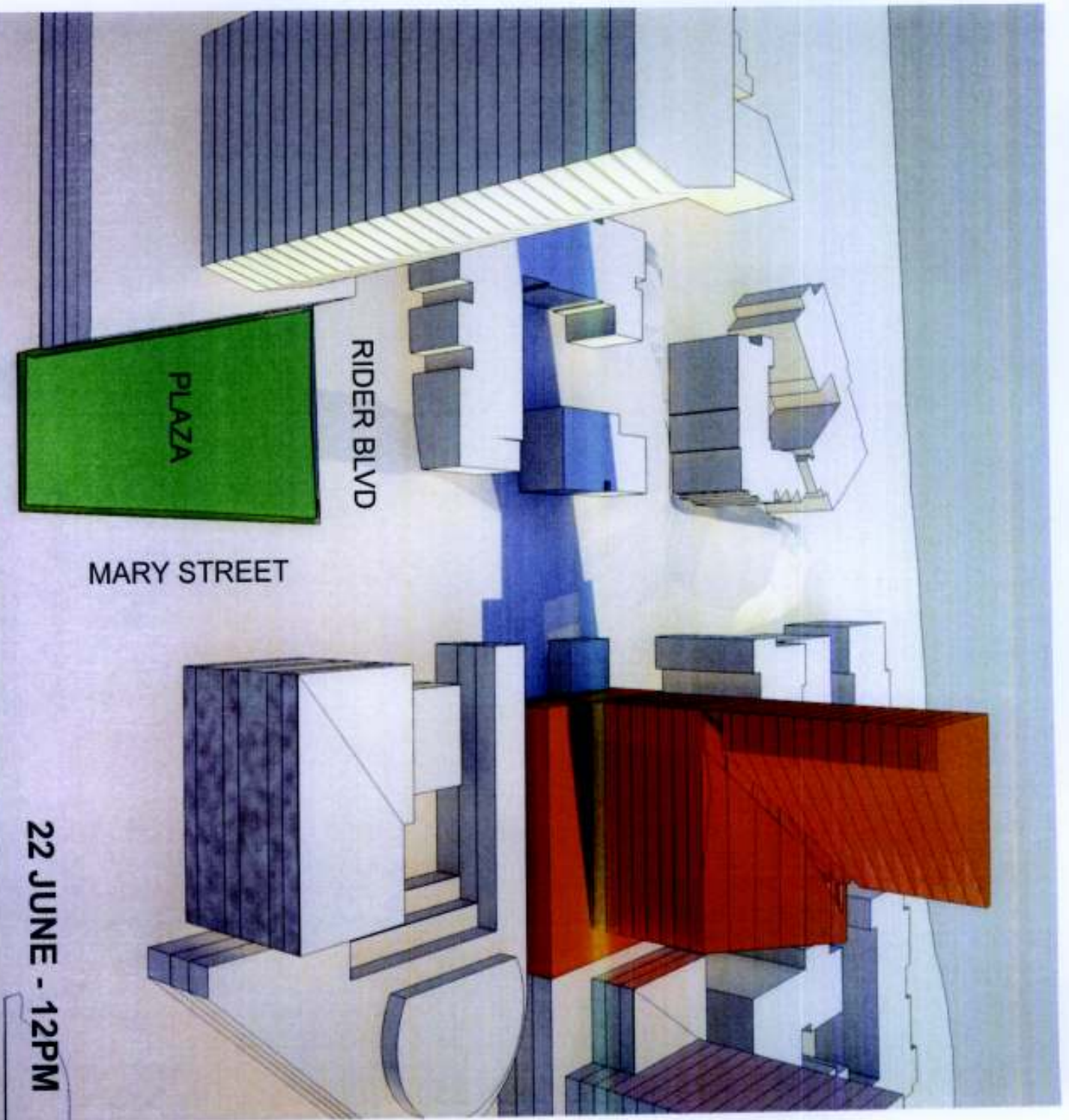
Typical High Rise
Ventilation Diagram

Scale 1:250 @ A3



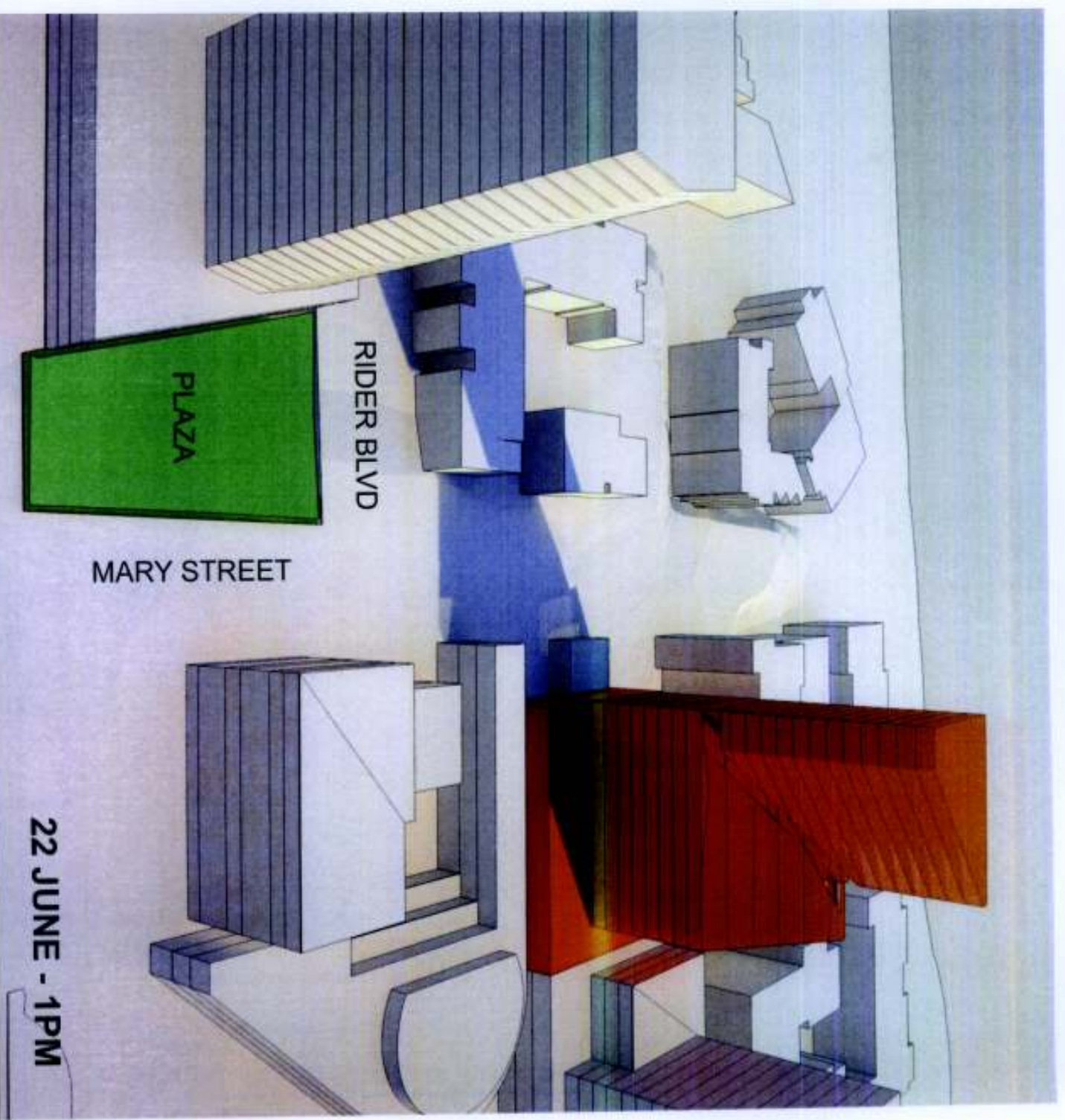
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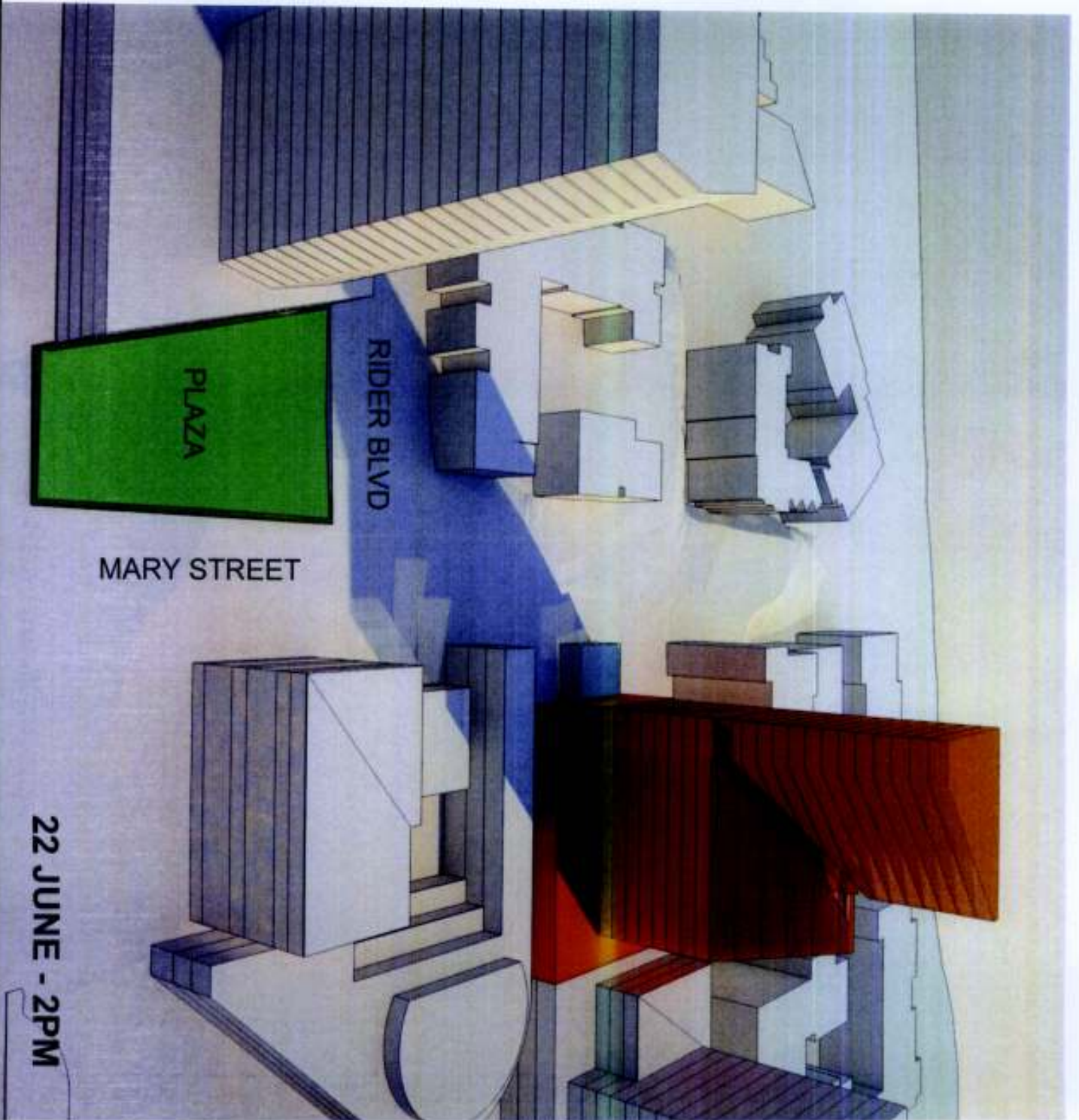


22 JUNE - 12PM

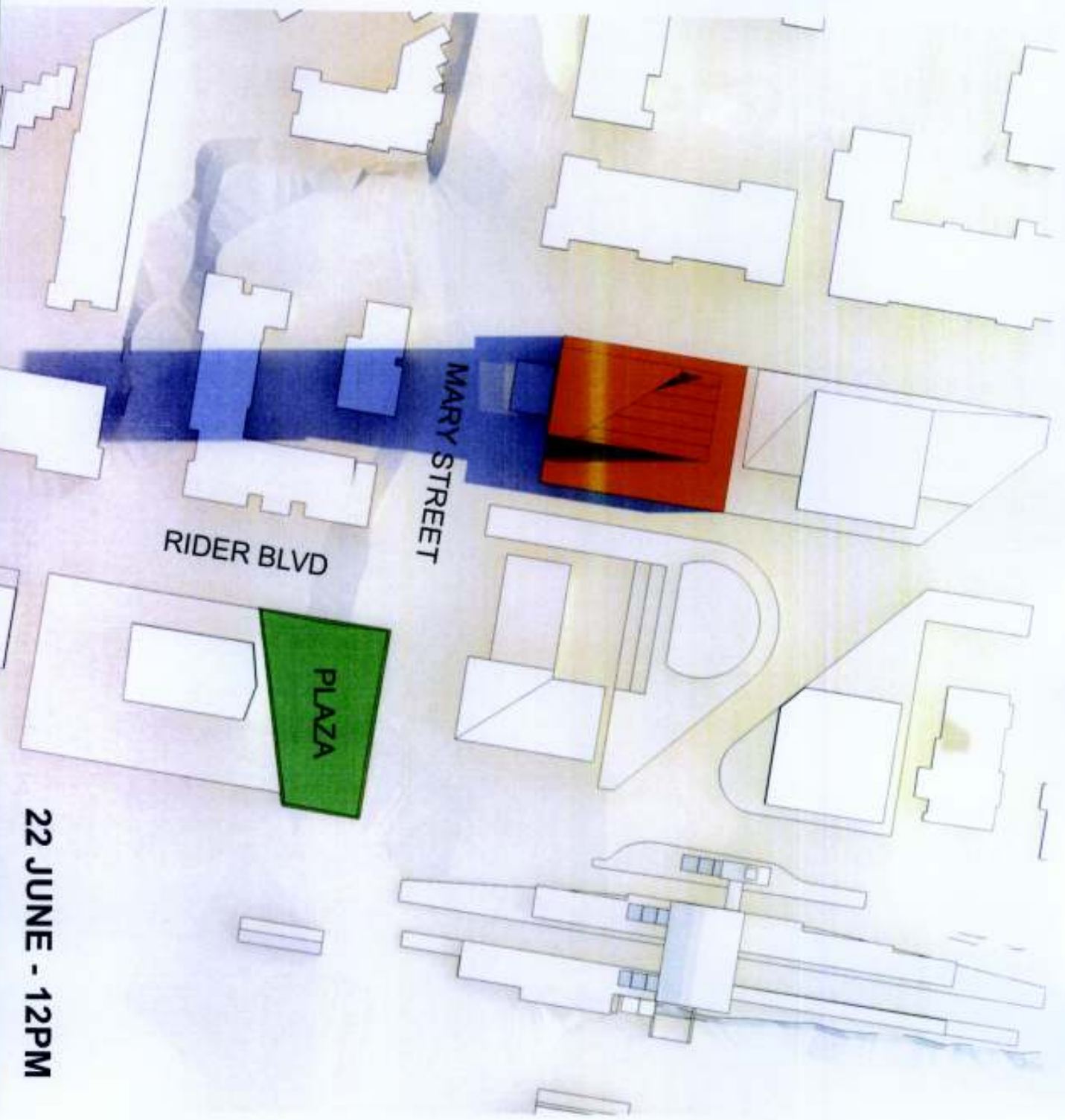
Shadow Analysis



Shadow Analysis

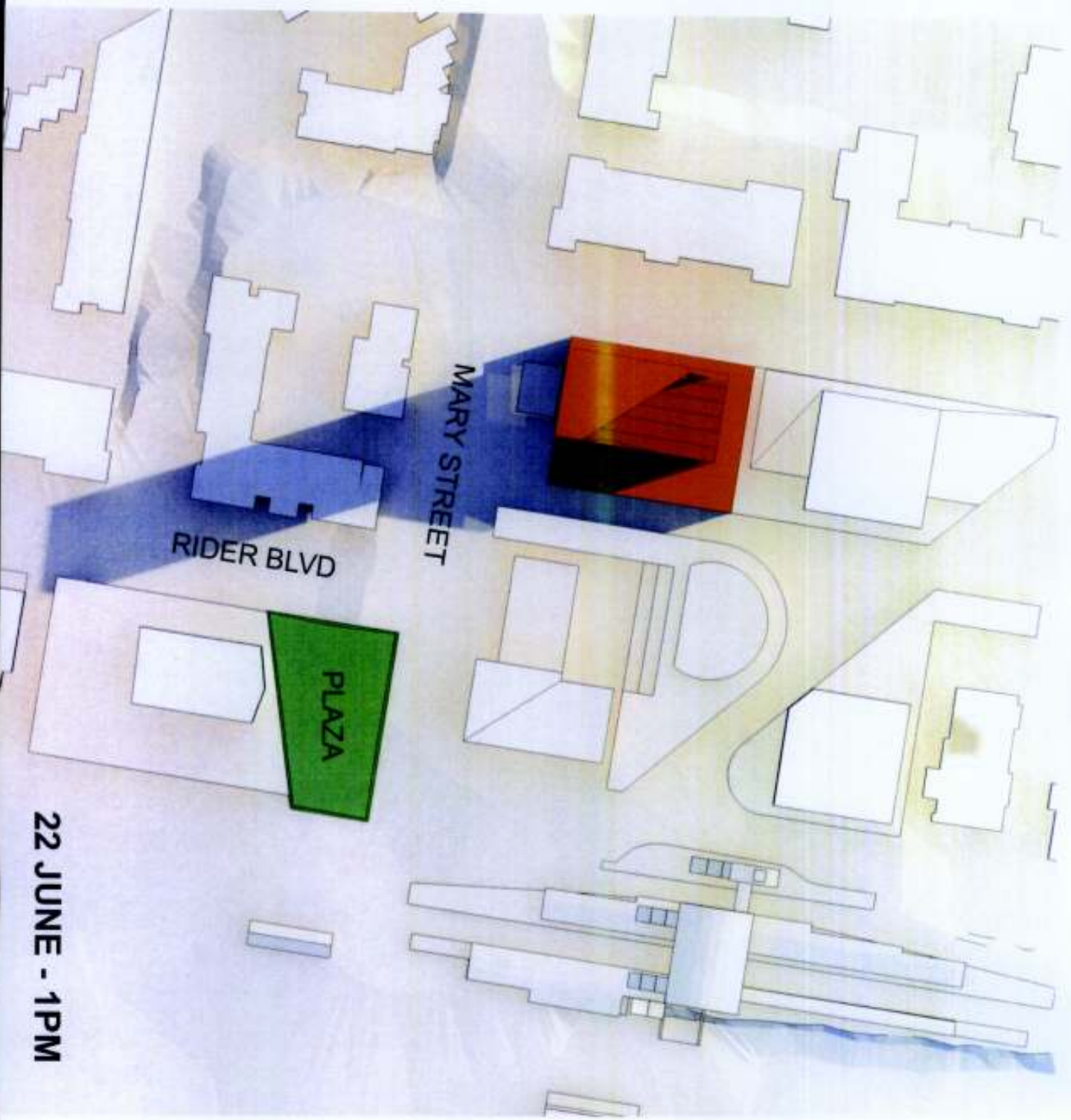


Shadow Analysis



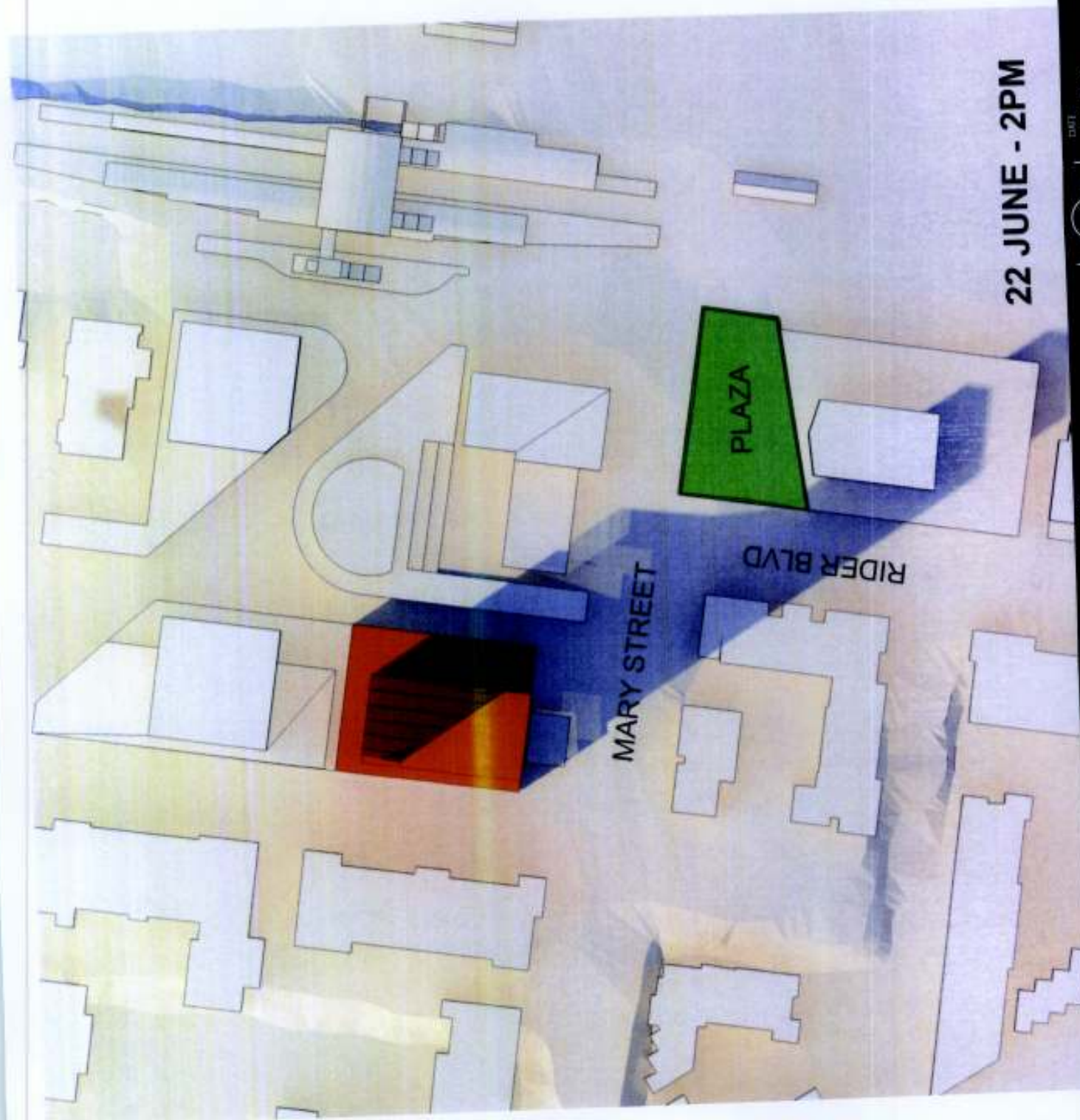
22 JUNE - 12PM

Shadow Analysis



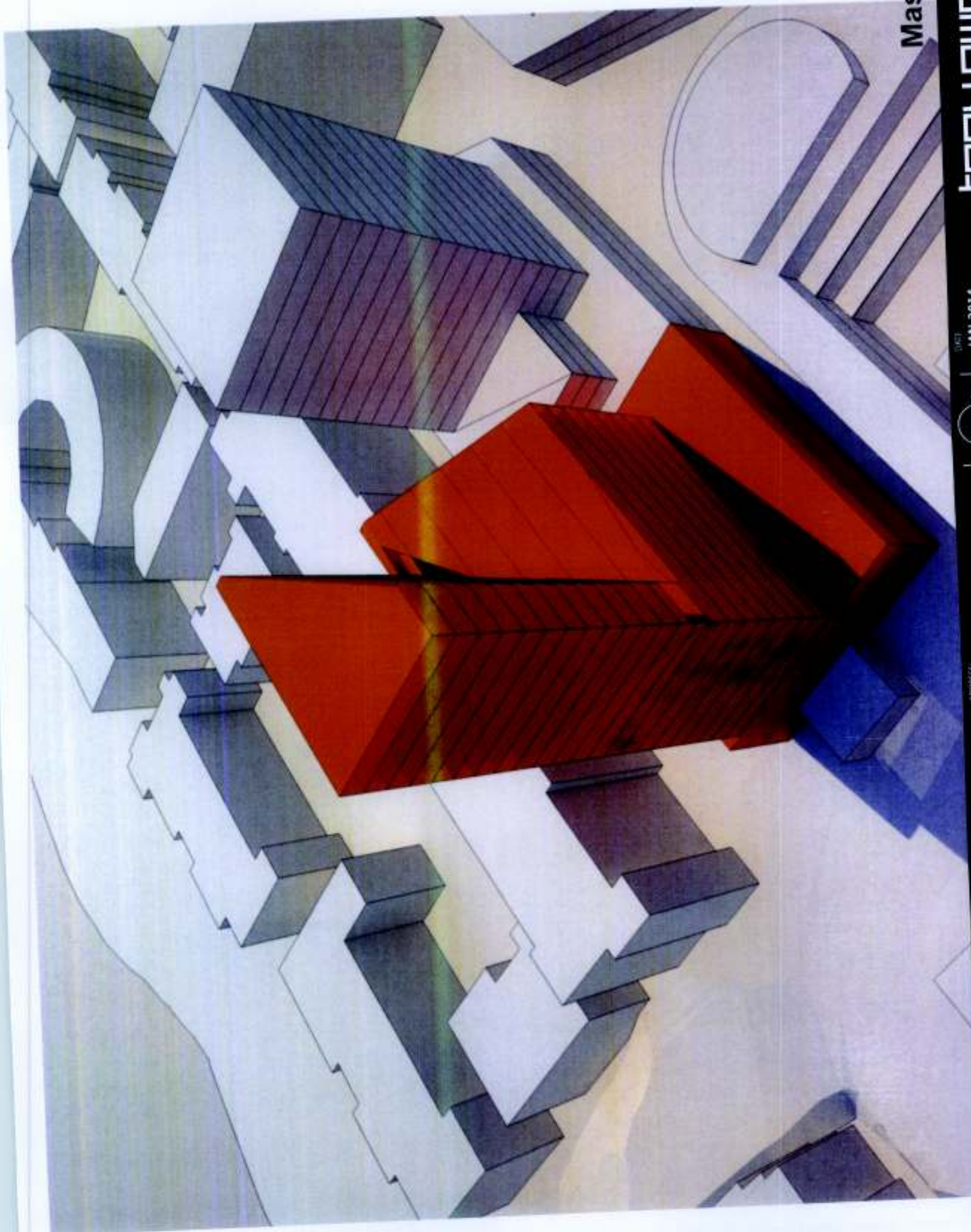
22 JUNE - 1PM

Shadow Analysis



Shadow Analysis

22 JUNE - 2PM



Massing Studies

PROJECT
STATION PRECINCT, RHODES

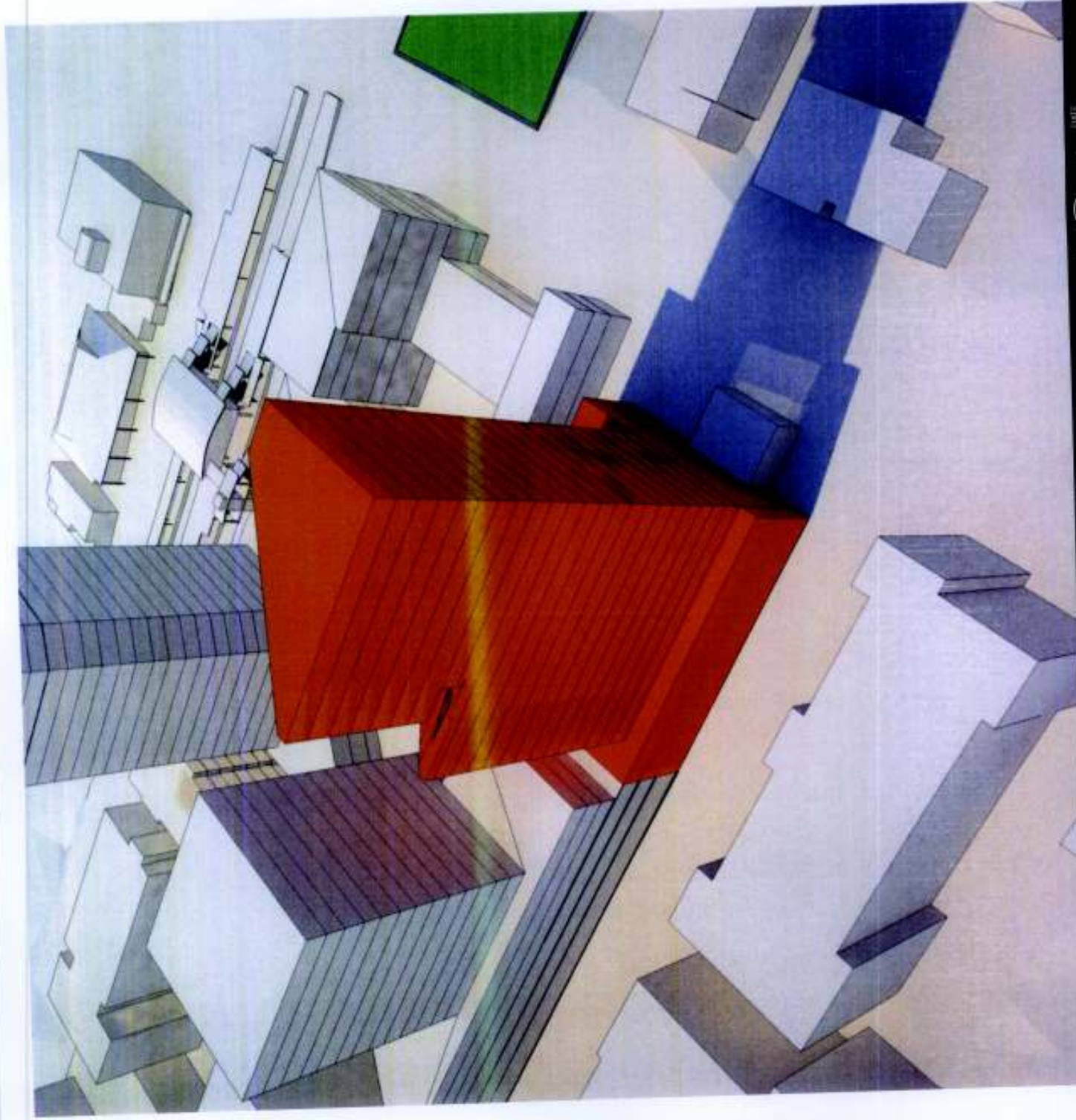
CLIENT
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ADDRESS
4 Mary Street,
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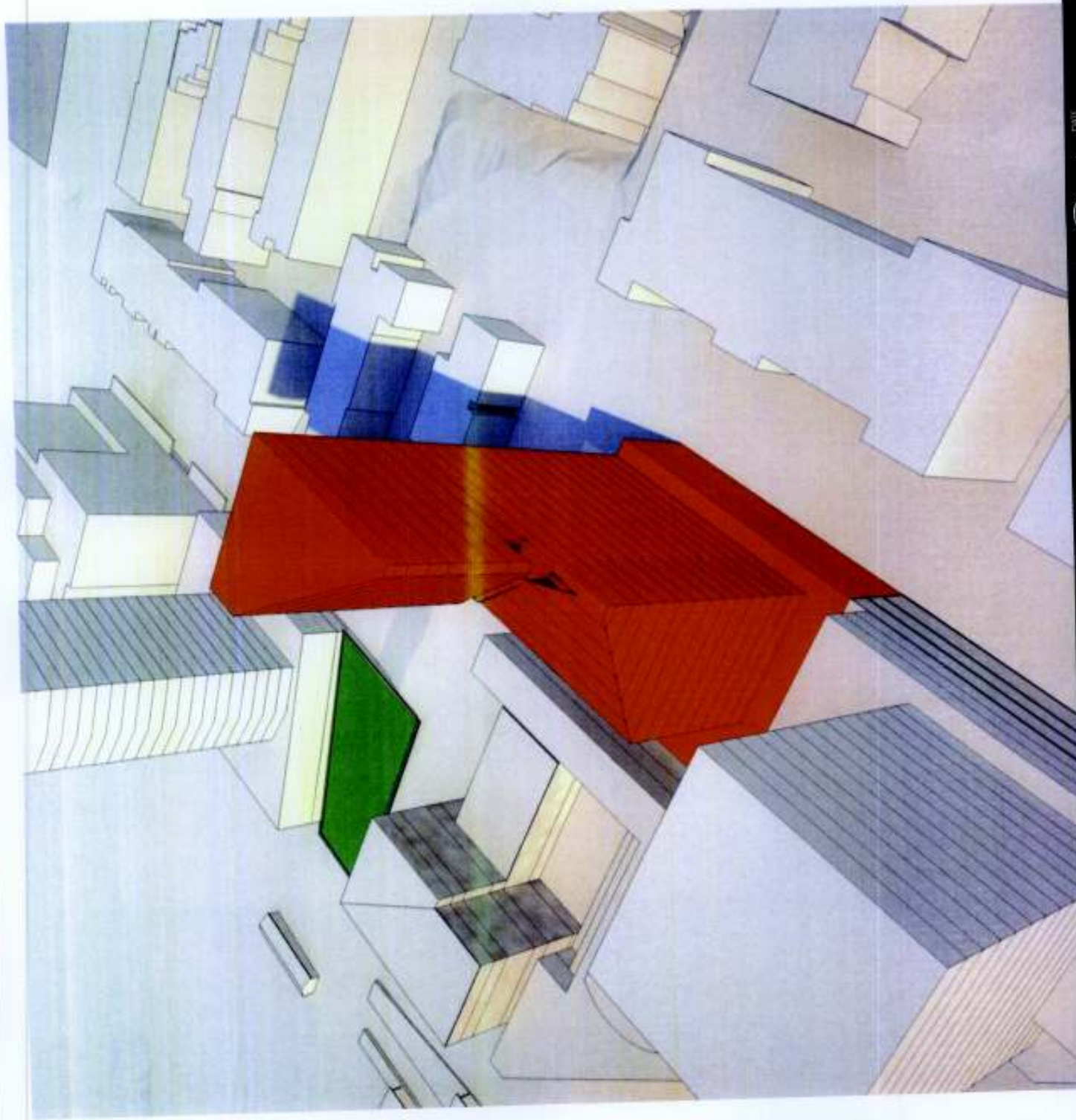


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ARCHITECT
INTERIOR
DESIGN
TONY OWEN PTNS



Massing Studies



Massing Studies

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INTERIORS
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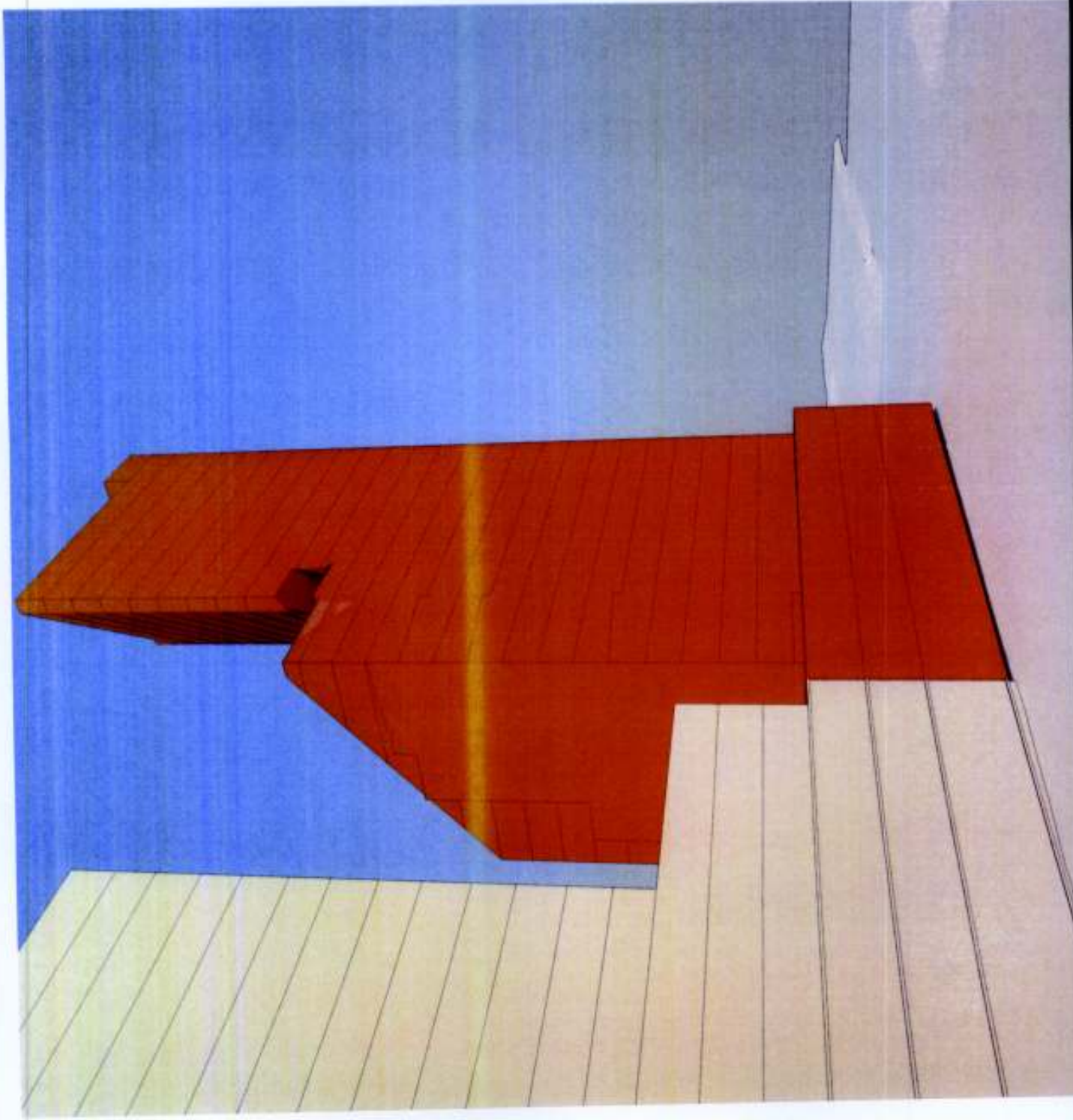
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PROJECT
STATION PRECINCT, RHODES



Massing Studies

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Massing Studies

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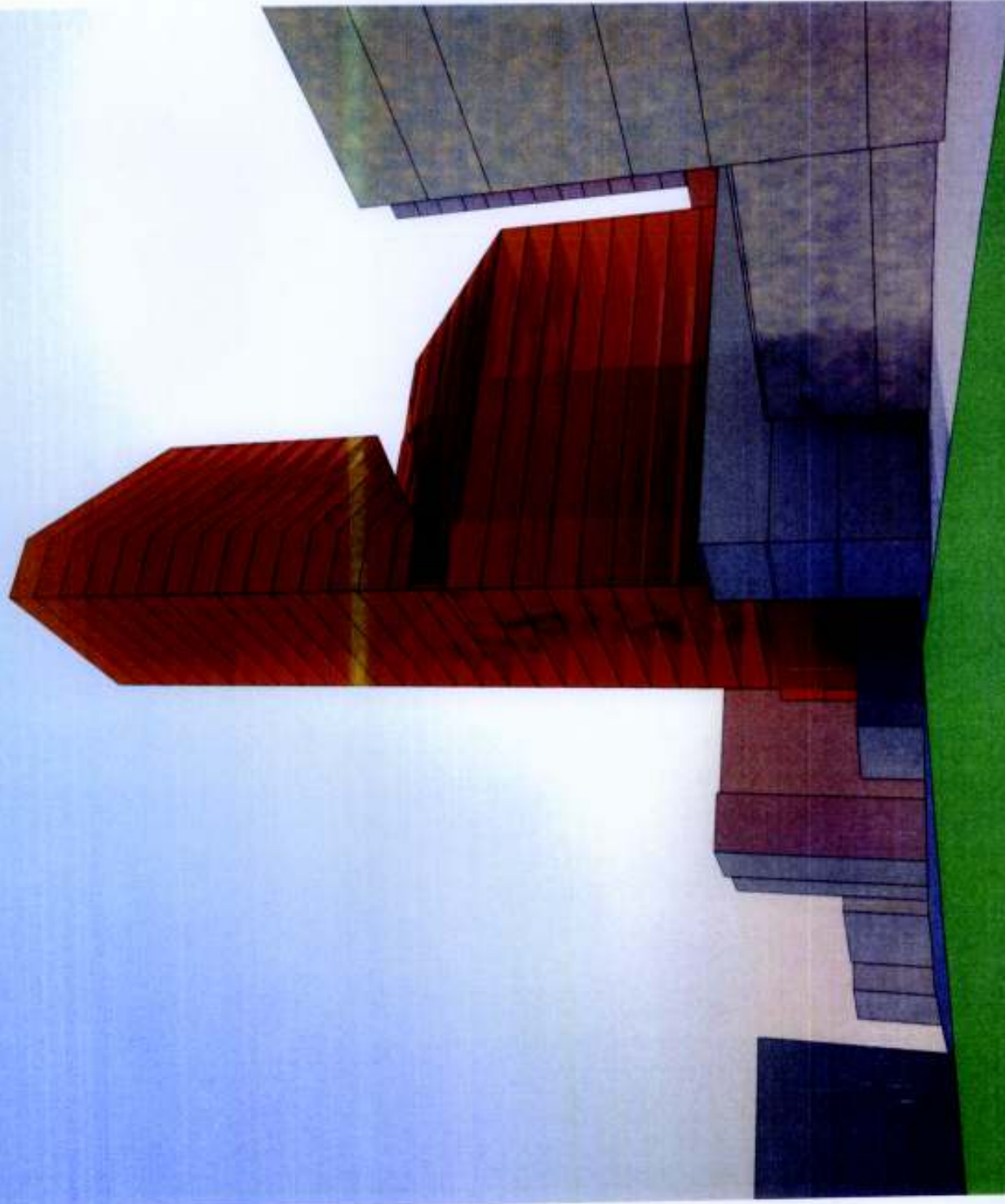
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Massing Studies

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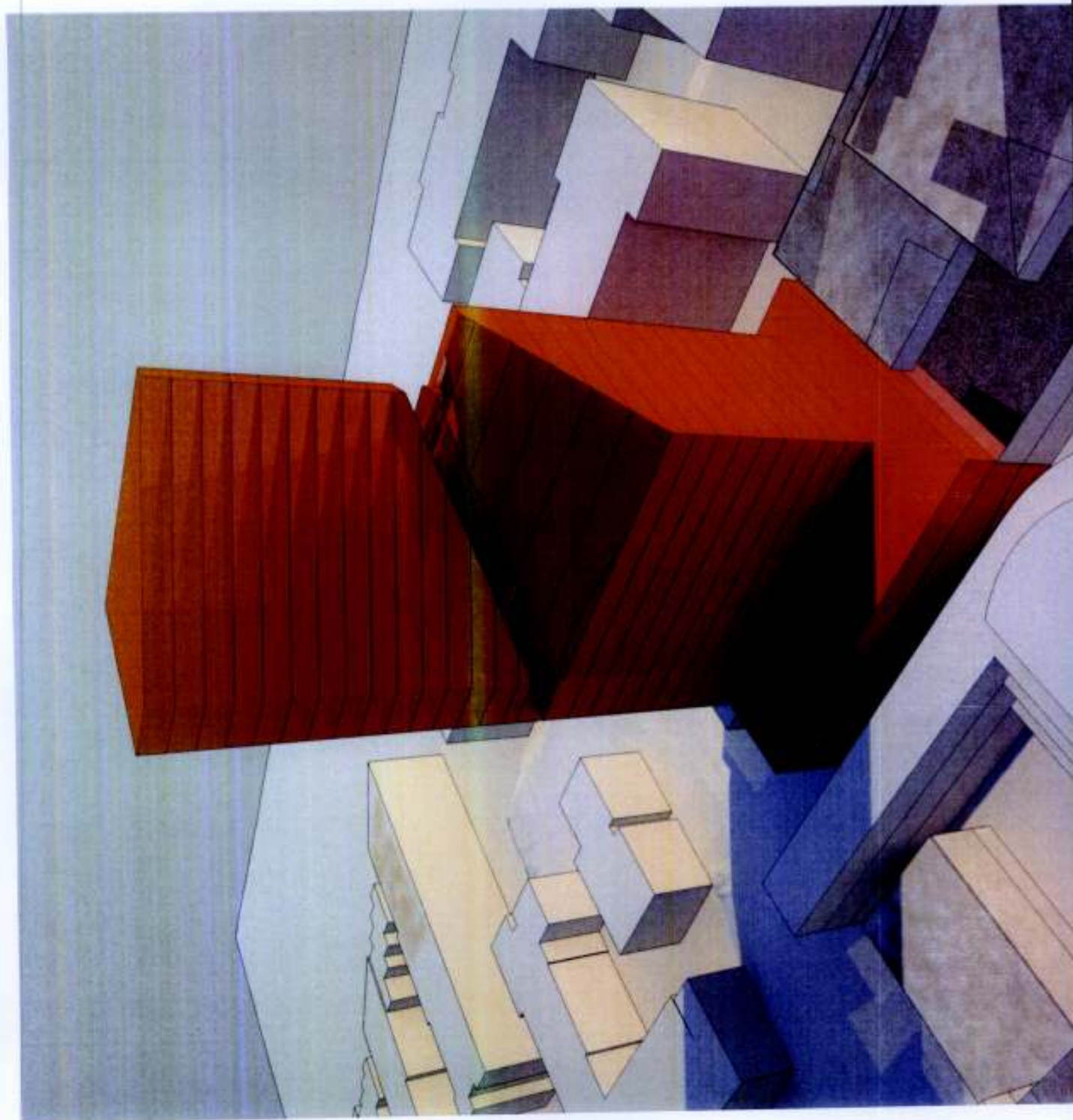
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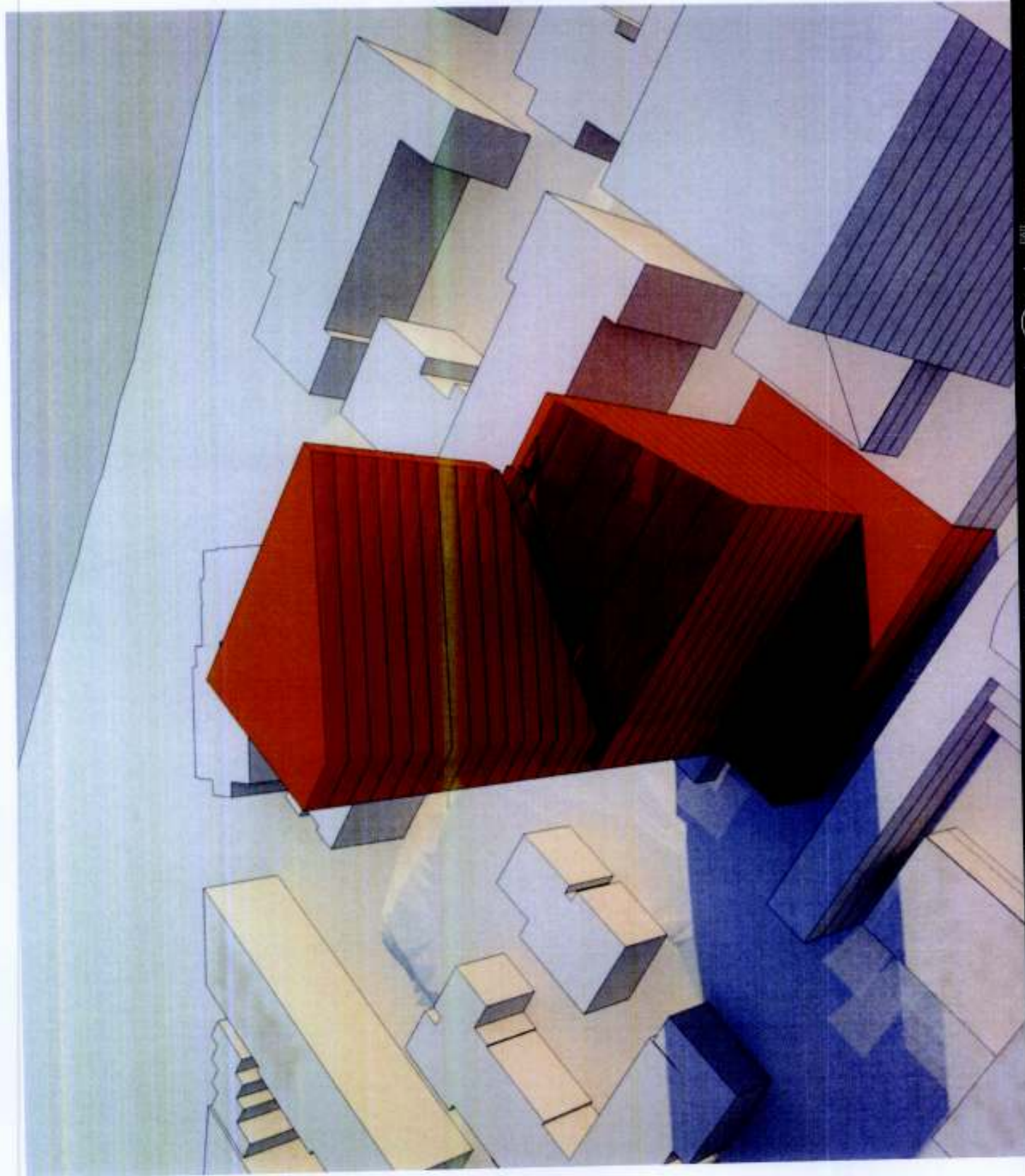
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Massing Studies

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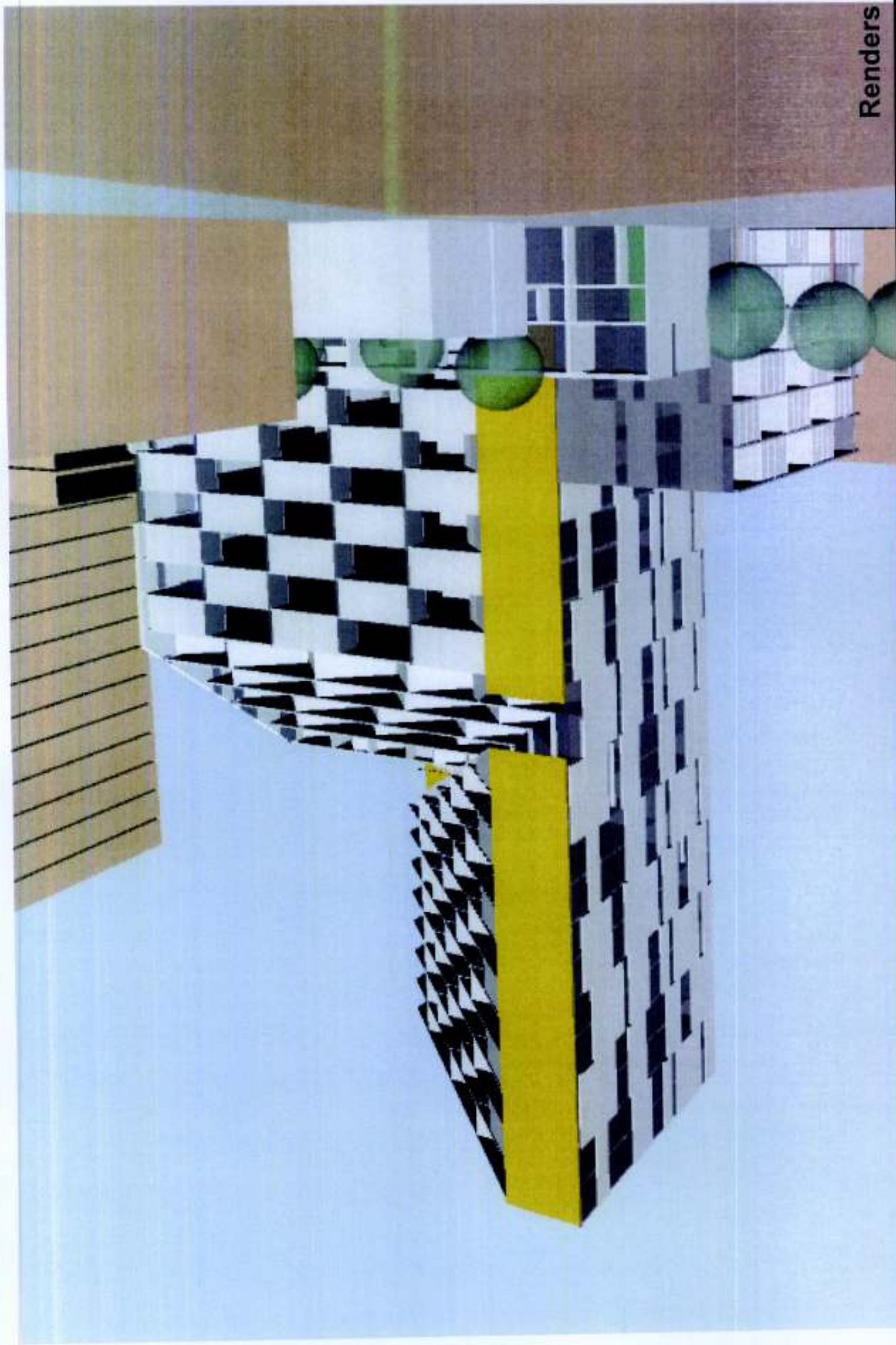
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tony o'wain **o'wain**
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INTERIORS
PLANNING



Renders

PROJECT

STATION PRECINCT, RHODES

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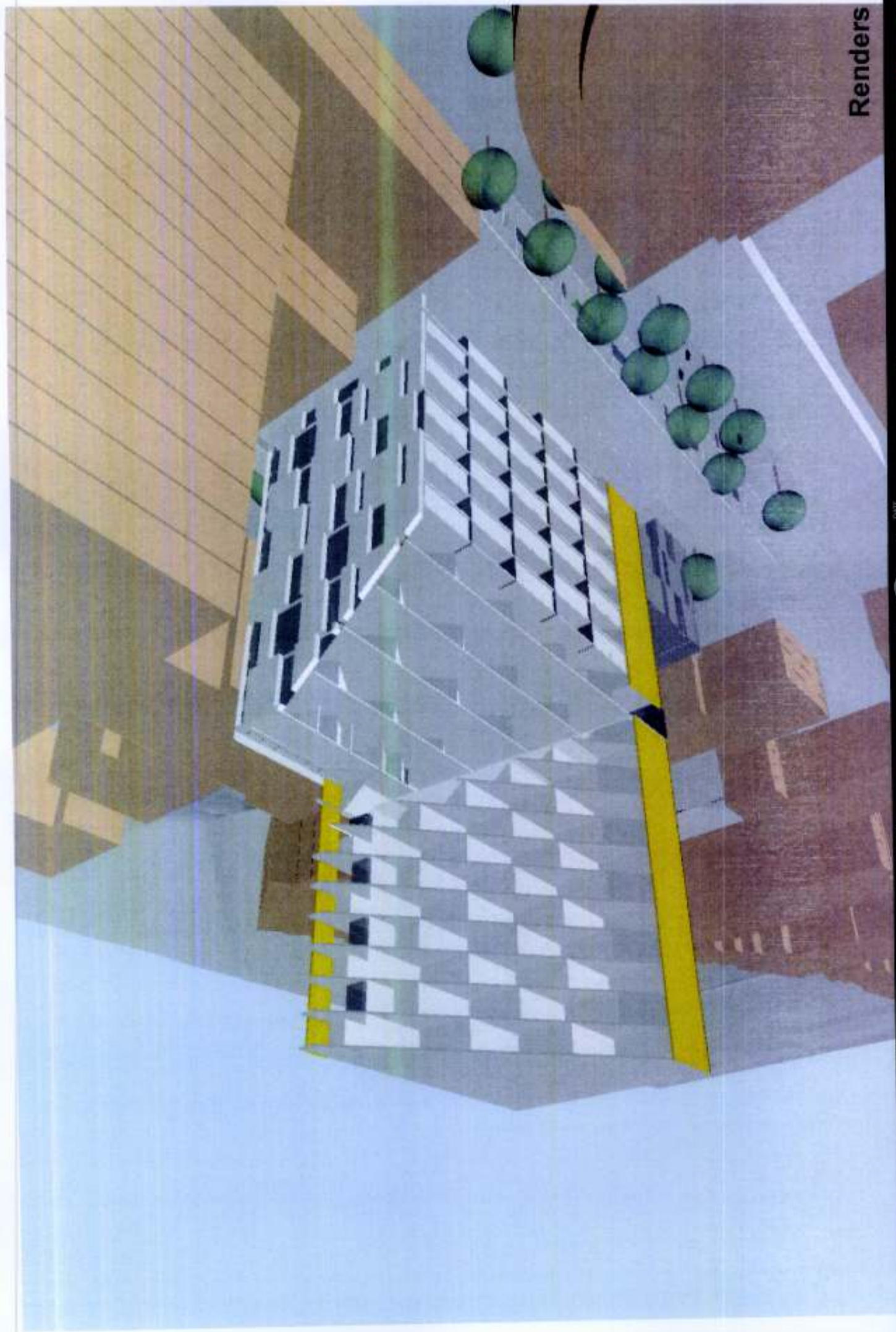
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tony owen **ptnr**s

ARCHITECT
INTERIOR
LANDSCAPE



Renders

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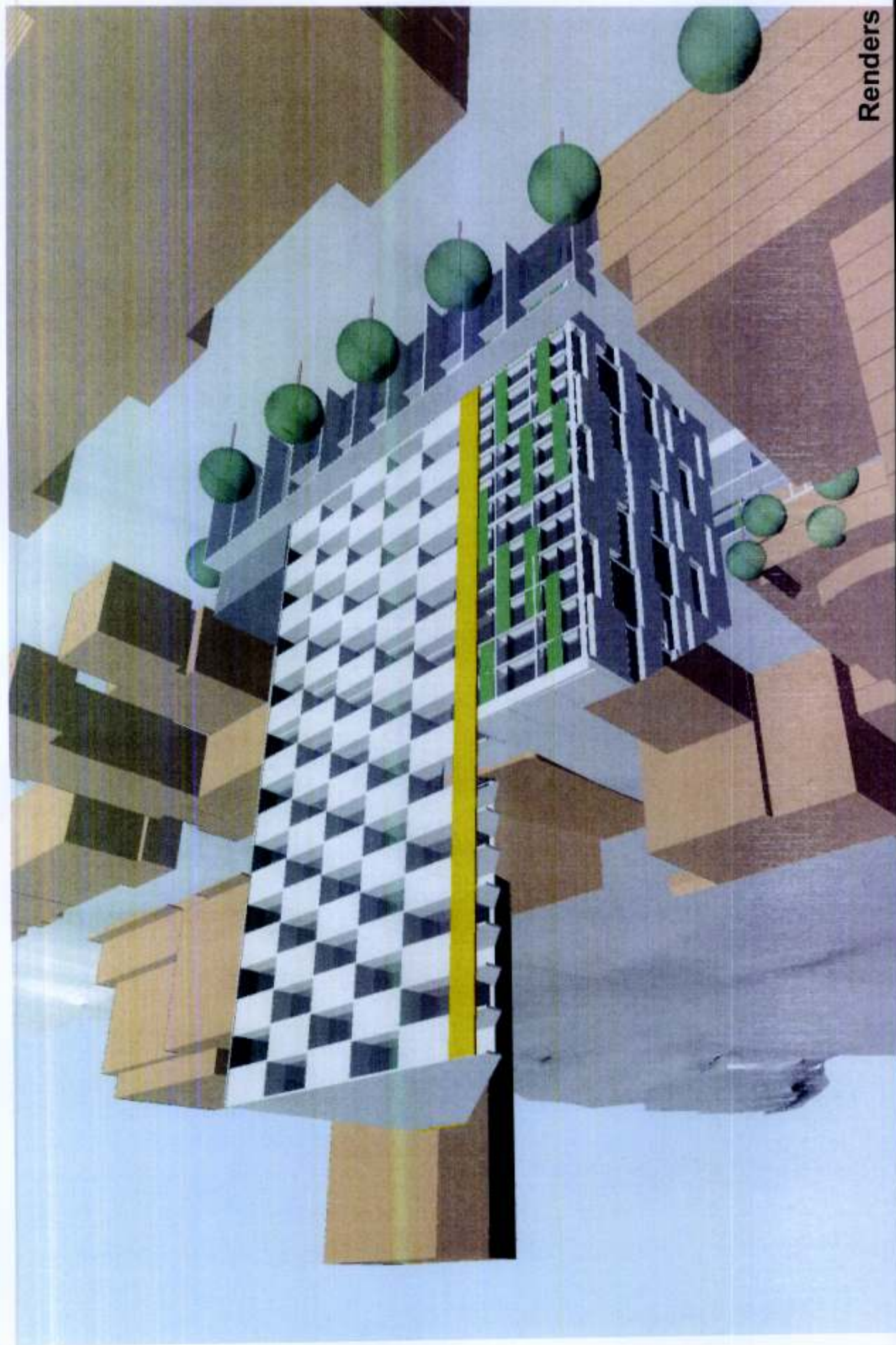
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INTERIOR
PLANNING



Renders

PROJECT
STATION PRECINCT, RHODES

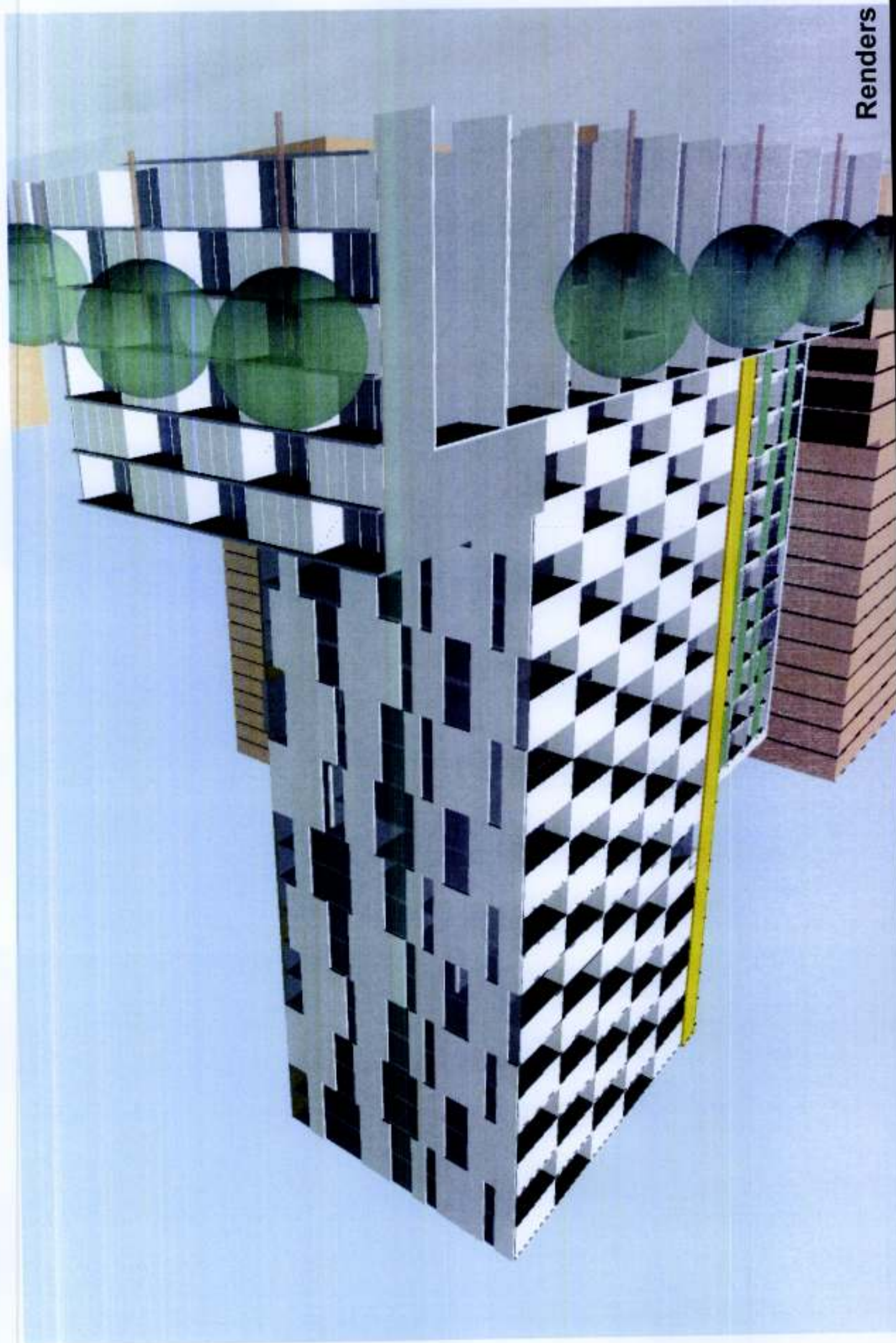
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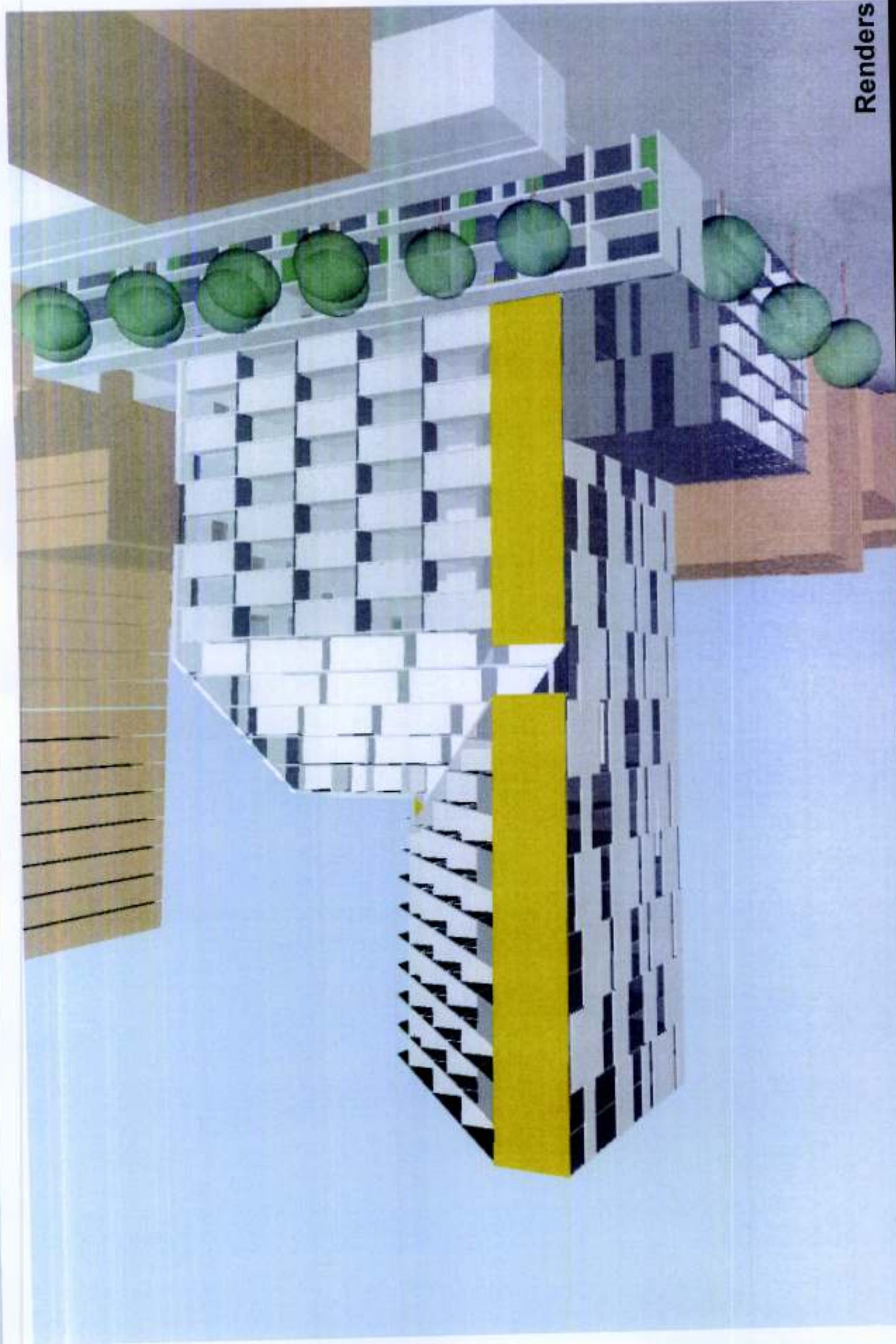


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tony oswen **ptns** ARCHITECT
INTERIOR
EXTERIOR

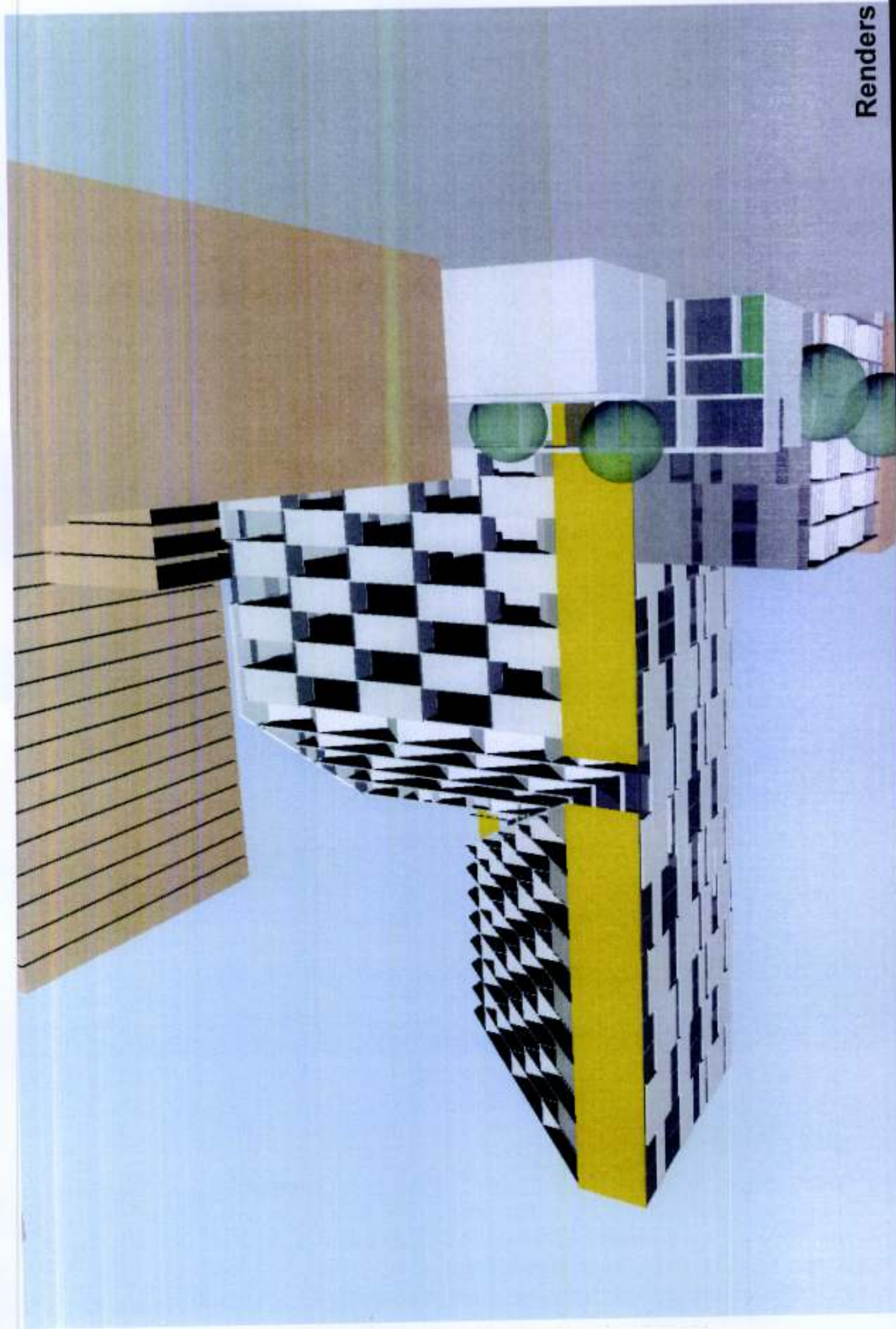


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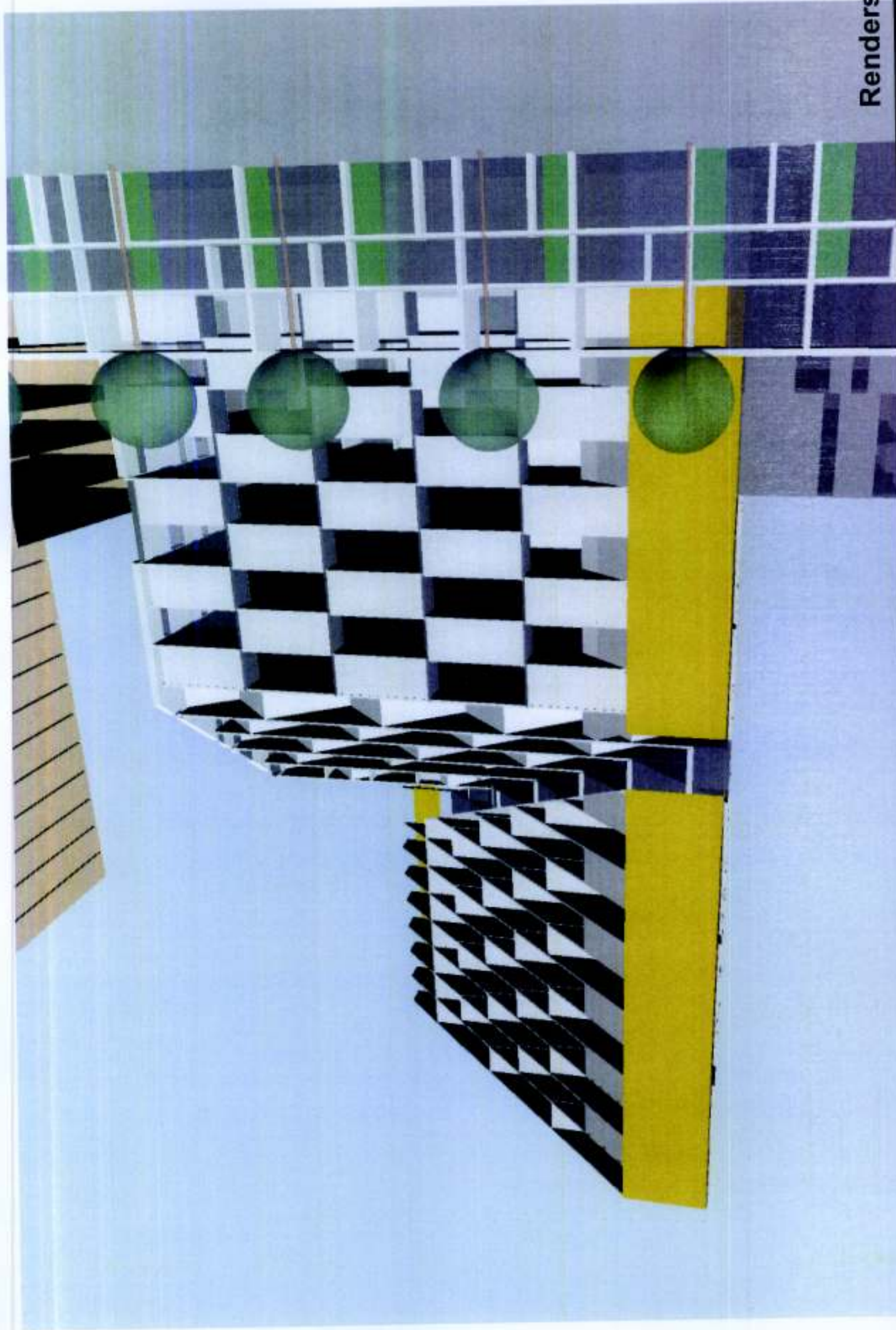


Renders





Renders



Renders



Renders

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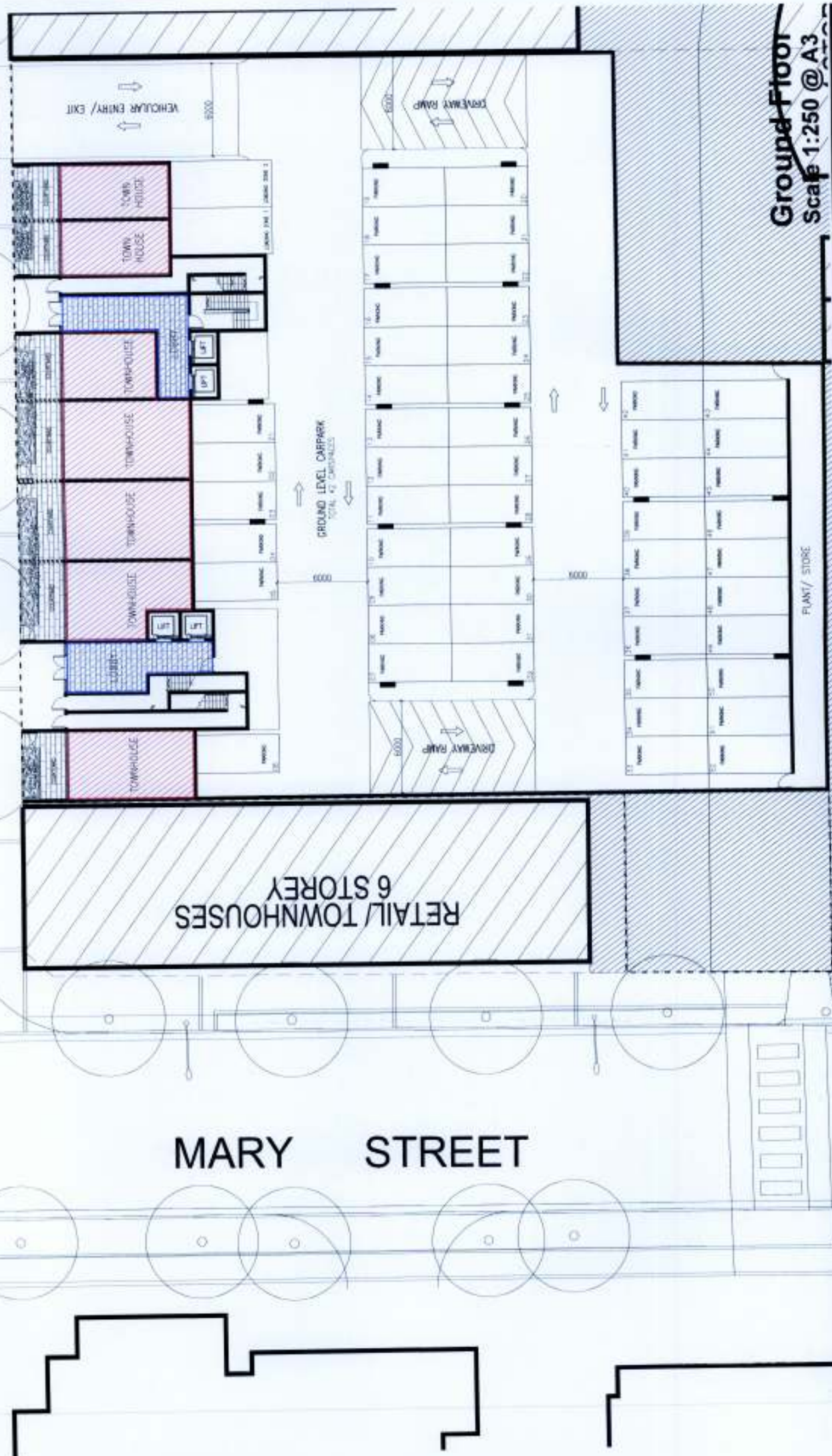


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ARCHITECT
PLANNERS
TONY OWEN PTY LTD

FSR Calculation		TOTAL FLOOR AREA	
Ground Level	Level 1	258.6 sqm	16100.9 sqm
	Level 2	1384.8 sqm	16100.9 sqm
	Level 3	864.8 sqm	16100.9 sqm
	Level 4	811.7 sqm	16100.9 sqm
	Level 5	811.7 sqm	16100.9 sqm
	Level 6	811.7 sqm	16100.9 sqm
	Level 7	811.7 sqm	16100.9 sqm
	Level 8	811.7 sqm	16100.9 sqm
	Level 9	811.7 sqm	16100.9 sqm
	Level 10	811.7 sqm	16100.9 sqm
	Level 11	811.7 sqm	16100.9 sqm
	Level 12	811.7 sqm	16100.9 sqm
	Level 13	811.7 sqm	16100.9 sqm
	Level 14	488.9 sqm	16100.9 sqm
	Level 15	373.1 sqm	16100.9 sqm
	Level 16	314.8 sqm	16100.9 sqm
	Level 17	320.7 sqm	16100.9 sqm
	Level 18	331.1 sqm	16100.9 sqm
	Level 19	331.1 sqm	16100.9 sqm
	Level 20	331.1 sqm	16100.9 sqm
	Level 21	331.1 sqm	16100.9 sqm
	Level 22	331.1 sqm	16100.9 sqm
	Level 23	331.1 sqm	16100.9 sqm
	Level 24	331.1 sqm	16100.9 sqm
	Level 25	331.1 sqm	16100.9 sqm
		12573.4 sqm	16100.9 sqm
		53.1 sqm	16100.9 sqm
		897.1 sqm	16100.9 sqm
		998.4 sqm	16100.9 sqm
		1578.9 sqm	16100.9 sqm
		PERCENTAGE	16%
			7.9%
			0.4%
			7.7%
			16%
			PERCENTAGE
			16100.9 sqm
			12573.4 sqm
			53.1 sqm
			897.1 sqm
			998.4 sqm
			1578.9 sqm
			16%
			7.9%
			0.4%
			7.7%
			16%
			PERCENTAGE
			16100.9 sqm
			12573.4 sqm
			53.1 sqm
			897.1 sqm
			998.4 sqm
			1578.9 sqm
			16%
			7.9%
			0.4%
			7.7%
			16%
			PERCENTAGE
			16100.9 sqm
			12573.4 sqm
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FSA GROUND FLOOR
 RESIDENTIAL 216m²
 CORRIDORS 52.6m²
 TOTAL 268.6m²

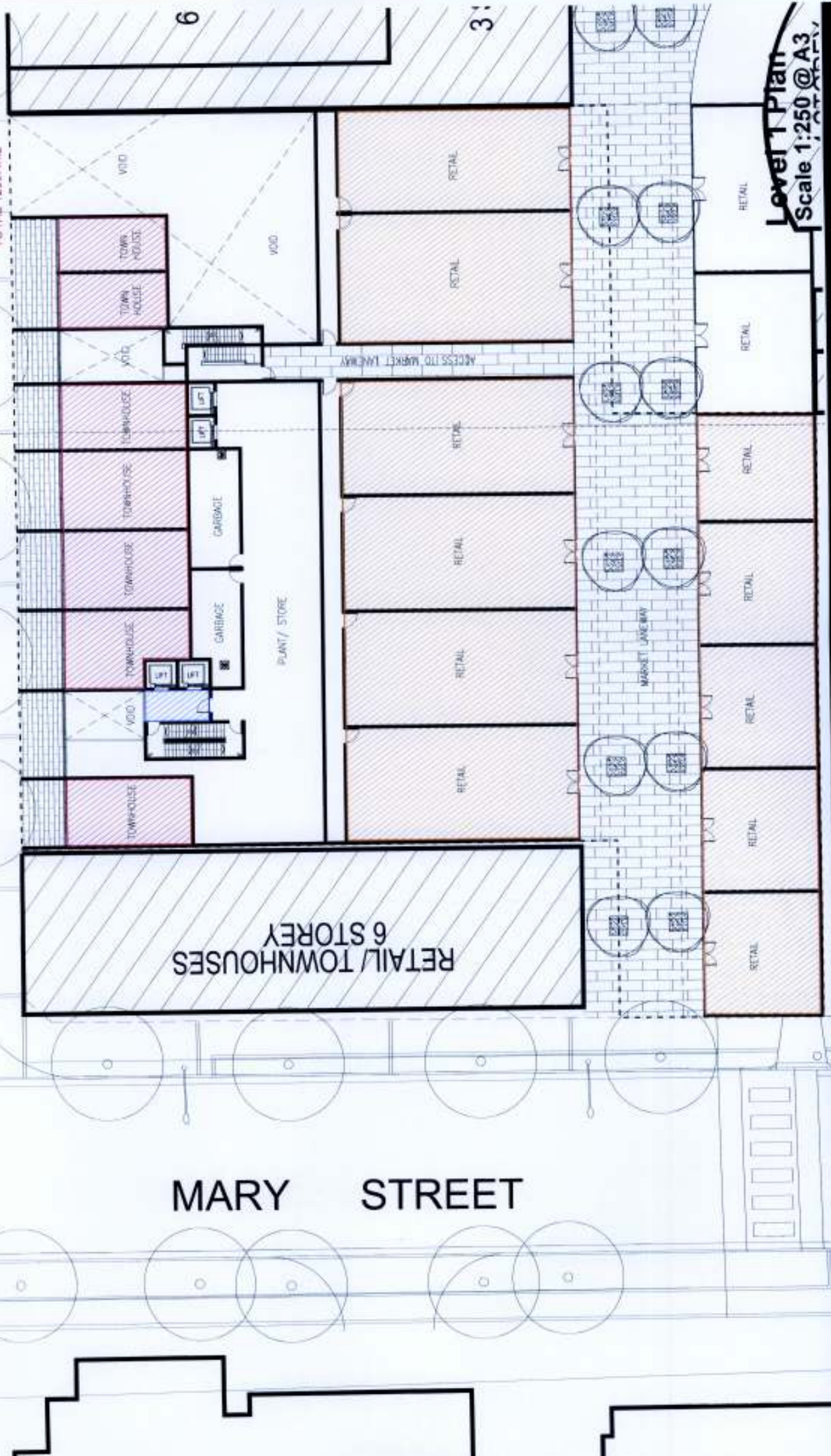


Ground Floor
 Scale 1:250 @ A3

MARY STREET

FSA LEVEL 1

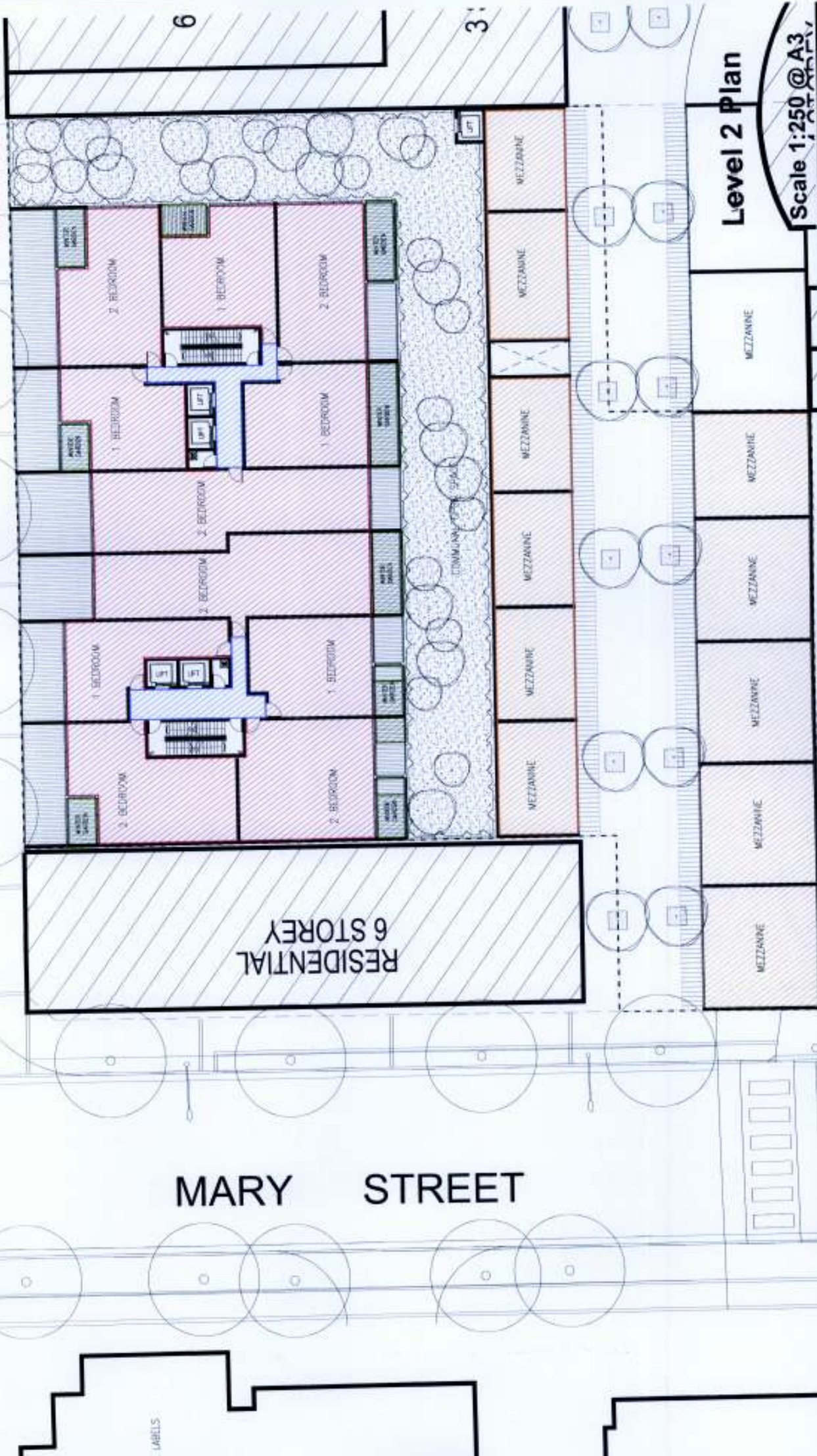
- RESIDENTIAL 255m²
- CORRIDORS 8.6m²
- COMMERCIAL 1005.8m²
- TOTAL 1269.4m²



Level 1 Plan
Scale 1:250 @ A3

FSA LEVEL 2

- RESIDENTIAL 687.3m²
- CORRIDORS 41.3m²
- WINTER GARDEN 83.2m²
- COMMERCIAL 573.1m²
- TOTAL 1384.9m²

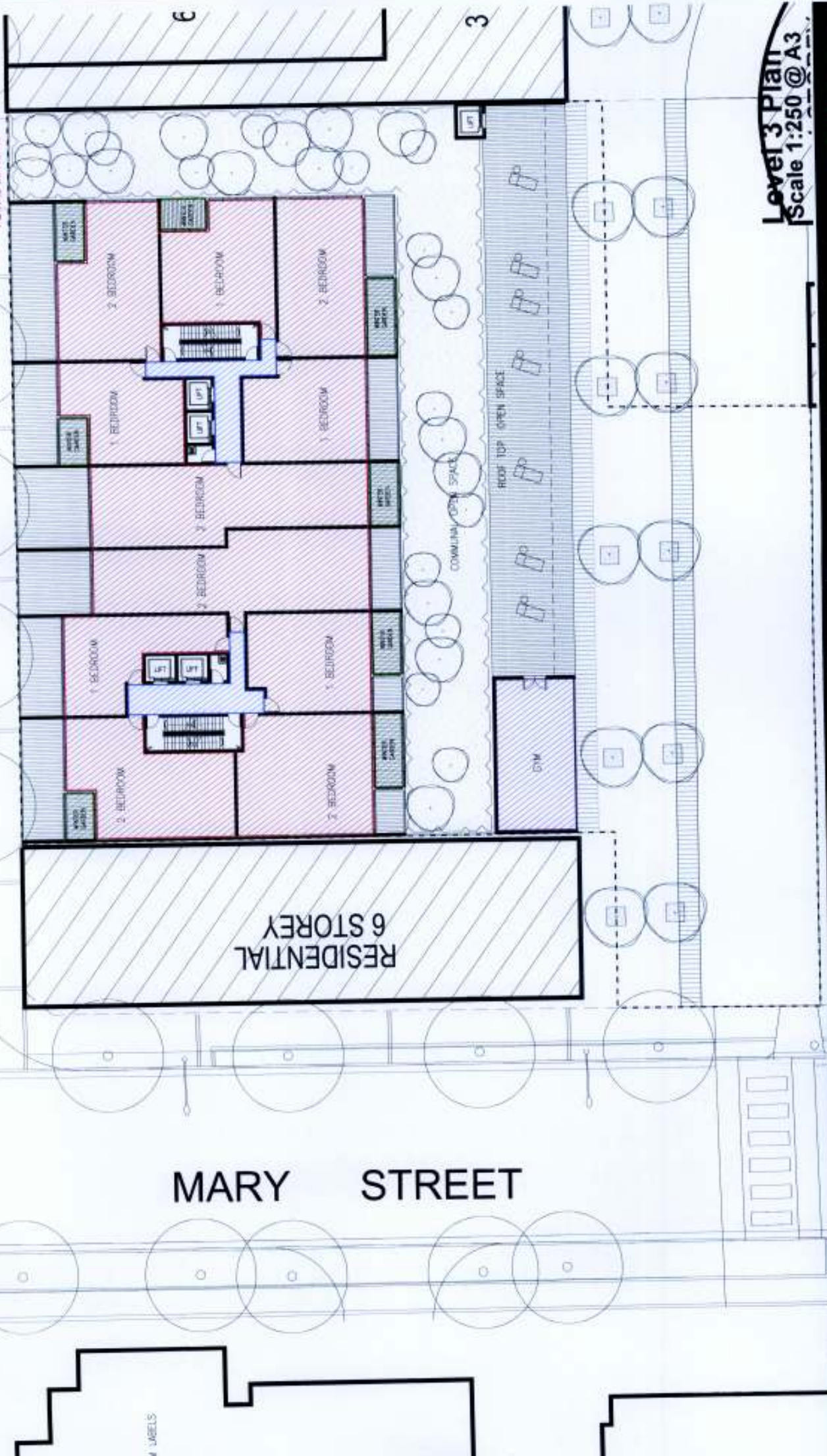


Level 2 Plan

Scale 1:250 @ A3

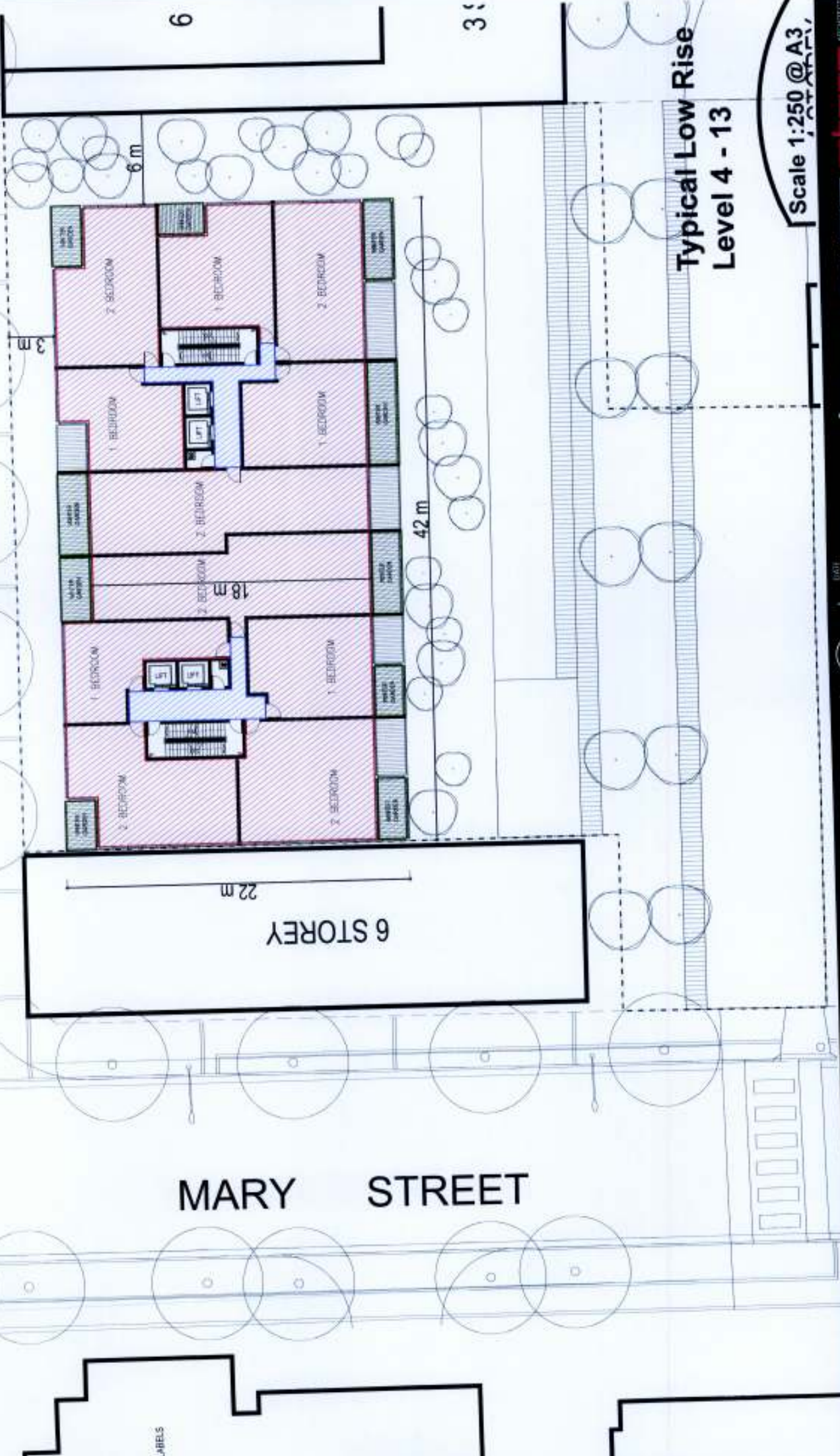
FSA LEVEL 3

- RESIDENTIAL 687.2m²
- CORRIDORS 41.3m²
- WINTER GARDEN 83.2m²
- COMMUNAL SPACE 53.1m²
- TOTAL 864.8m²



Level 3 Plan
Scale 1:250 @ A3

FSA TYPICAL LOW RISE L4 - 13
 RESIDENTIAL 887.2m²
 CORRIDORS 41.3m²
 WINTER GARDEN 83.2m²
 TOTAL 811.7m²



Typical Low Rise
 Level 4 - 13

Scale 1:250 @ A3

Level 14 Plan

Scale 1:250 @ A3

6 STOREY

MARY STREET

FSA LEVEL 14
RESIDENTIAL 425m2
CORRIDORS 63.9m2
TOTAL 488.9m2

3

⑤

FSA LEVEL 15
RESIDENTIAL 350m²
CORRIDORS 23.1m²
TOTAL 373.1m²



6 STOREY

MARY STREET

Level 15 Plan

Scale 1:250 @ A3

MARY STREET

6 STOREY

Level 16 Plan

Scale 1:250 @ A3

FSA LEVEL 16
RESIDENTIAL 285m2
CORRIDORS 29.8m2
TOTAL 314.8m2

STATION PRECINCT, RHODES

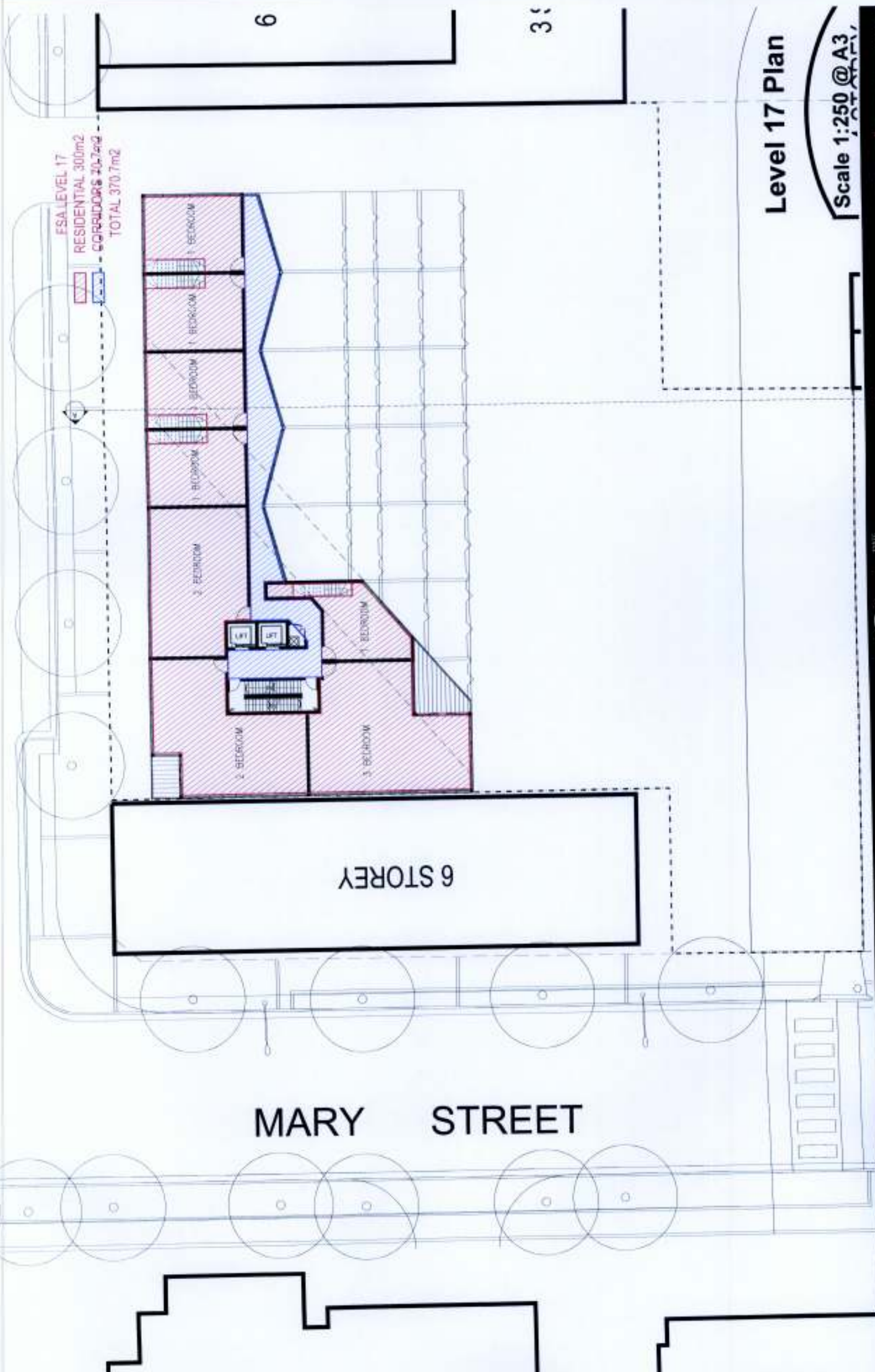
MARQUE PROPERTY P/L

ADDRESS
4 Mary Street,
RHODES



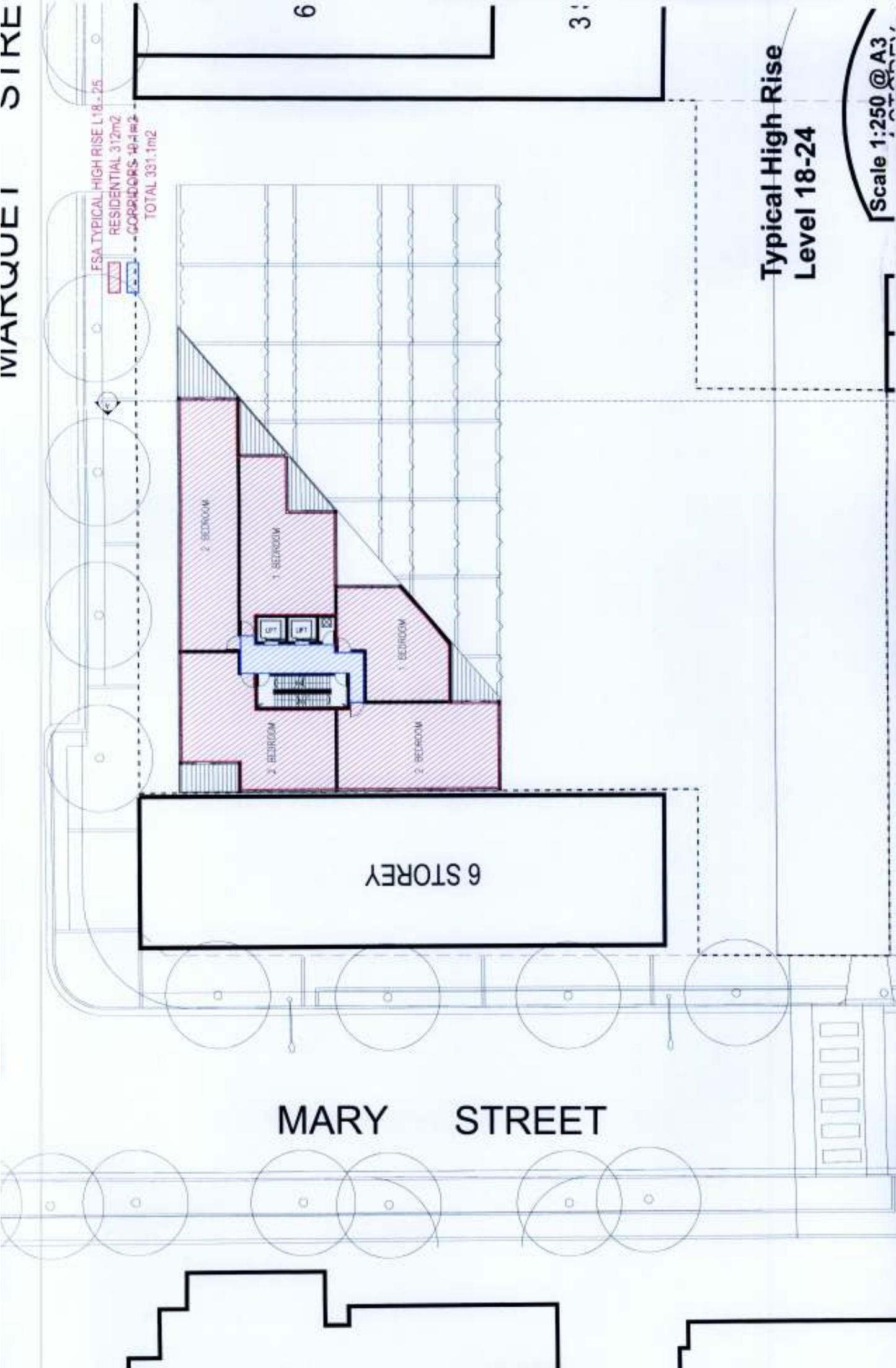
JAN 2014

tonyomazda **szűz**
direct
 control
 is available



Level 17 Plan

Scale 1:250 @ A3



Typical High Rise
Level 18-24

Scale 1:250 @ A3